

Established 1793
Incorporated
Wolford 1850
Merrickville 1860
Amalgamated 1998



Telephone: (513) 269-4791
Facsimile: (513) 269-3095

VILLAGE OF MERRICKVILLE-WOLFORD
Agenda for Special Council Meeting
Council Chambers

Special Council Meeting 6:00 p.m.

Wednesday, July 7, 2021

IMPORTANT NOTICE: This meeting will be held electronically. In order to ensure transparency, an audio recording of this meeting will be livestreamed on the "Village of Merrickville-Wolford" YouTube channel at https://www.youtube.com/channel/UC_OEkw3yIMarGSHGeNecrQg.

Live comments regarding the proposed by-law amendment may be submitted during the virtual public meeting as follows:

1. On-line at: <https://us02web.zoom.us/j/85631135021>
Password: 196808
2. By phone at: 1-647-558-0588
Meeting ID: 856 3113 5021
Participant ID: #
Passcode: 196808

1. Call to Order
2. Disclosure of Pecuniary Interest and the general nature thereof
3. Approval of the Agenda
4. Move to Public Meeting
 1. Application to amend Zoning By-Law 23-08, as amended, of the Village of Merrickville-Wolford, File #ZBA-01-2021
5. Resume Council Meeting
6. By-Laws
 - By-Law 38-2021: Amend By-Law 23-08, File# ZBA-01-2021
7. Next meeting of Council: Monday, July 26th, 2021 at 2:00 PM
8. Confirming By-Law: 39-2021 re: Confirm Proceedings of Council meeting of July 7, 2021
9. Adjournment.

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VILLAGE OF MERRICKVILLE-WOLFORD

Resolution Number: R - - 21

Date: July 7, 2021

Moved by: Cameron Foster Halpenny Molloy

Seconded by: Cameron Foster Halpenny Molloy

Be it hereby resolved that:

The Council of the Corporation of the Village of Merrickville-Wolford does hereby approve the agenda of the special Council meeting of July 7, 2021 as:

___ circulated.

___ amended.

Carried / Defeated

J. Douglas Struthers, Mayor

For Clerk's use only, if required:

Recorded Vote Requested By:

Cameron	Y	N
Foster	Y	N
Halpenny	Y	N
Molloy	Y	N
Struthers	Y	N

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VILLAGE OF MERRICKVILLE-WOLFORD

Resolution Number: R - - 21

Date: July 7, 2021

Moved by: Cameron Foster Halpenny Molloy

Seconded by: Cameron Foster Halpenny Molloy

Be it hereby resolved that:

The Council of the Corporation of the Village of Merrickville-Wolford does hereby move to a Public Meeting under Section 34 of the *Planning Act*, as amended.

Carried / Defeated

J. Douglas Struthers, Mayor

For Clerk's use only, if required:

Recorded Vote Requested By:

Cameron	Y	N
Foster	Y	N
Halpenny	Y	N
Molloy	Y	N
Struthers	Y	N



VILLAGE OF MERRICKVILLE-WOLFORD

NOTICE OF APPLICATION AND VIRTUAL PUBLIC MEETING FILE NO. ZBA-01-2021

***In the matter of Section 34 (13)
of the Planning Act, as amended, the Village of Merrickville-Wolford hereby gives
NOTICE OF THE FOLLOWING:***

- i) Application to amend Zoning By-law No. 23-08, as amended, of the Village of Merrickville-Wolford
 - ii) A virtual public meeting regarding the zoning by-law amendment.
-

Subject Lands Lot 72, Plan 6 in the Village of Merrickville-Wolford, on the south side of Drummond Street West, in a block between St. Patrick and St. John Streets, as shown on the attached Key Map.

Virtual Public Meeting

A public meeting to inform the public of the proposed zoning amendment will be held (VIRTUALLY) on **July 7, 2021 at 6:00 p.m.**

Any person may make written representation in support of or in opposition to the proposal. Written comments shall be submitted to the Clerk by mail to P.O. Box 340, Merrickville, K0G 1N0, or by email to cao@merrickville-wolford.ca **no later than 12:00 p.m., noon, on July 6, 2021**, and the written submissions will be provided to Village representative(s) in advance of the meeting, if possible. All written submissions must clearly indicate "**DRUMMOND ZBA**" in the subject line of an email or letter submission. In addition, live comments may be submitted during the virtual public meeting **beginning July 7, 2021 at 6:00 p.m. until meeting end**. The Clerk or Village representative(s) will verbally read out written deputations and live comments during the virtual meeting. You are entitled to attend this public meeting virtually.

If you wish to attend you must register in advance by email to cao@merrickville-wolford.ca or mail to P.O. Box 340, Merrickville, ON, K0G 1N0 to be received **no later than noon on July 7, 2021**. Upon registration, you will receive details on how to join the Virtual Public Meeting.

To Observe only, Visit the Village Council's YouTube Channel:
https://www.youtube.com/channel/UC_OEkW3yIMarGSHGeNecrQg

Purpose and Effect

The purpose of this amendment is to rezone the subject property to permit the construction of a semi-detached building on the property, for which an application for zoning by-law amendment has been filed.

The effect of the amendment is to:

- 1) Rezone the subject lands from Residential Type One (R1) to Residential Type Two (R2) to permit the construction of one semi-detached building. All provisions of the R2 zone in the Merrickville-Wolford Zoning By-Law 23-09, as amended, will apply.

Additional Information and Notice of Decision

Additional information regarding the proposed Zoning By-law amendment is available for inspection on the Village Website at www.merrickville-wolford.ca or by email request to cao@merrickville-wolford.ca.

If a person or public body does not make written submissions or live comments to the Village of Merrickville-Wolford in respect of the proposed Zoning By-law amendment, before the approval authority gives or refuses to give approval to the Zoning By-law amendment, the person or public body is not entitled to appeal the decision of the Village of Merrickville-Wolford to the Ontario Land Tribunal.

If a person or public body does not make written submissions or live comments to the Village of Merrickville-Wolford in respect of the proposed Zoning By-law amendment before the approval authority gives or refuses to give approval to the Zoning By-law amendment, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

If you wish to be notified of the decision of the Village of Merrickville-Wolford in respect of the proposed Zoning By-law Amendment, you must make a written request to:

Village of Merrickville-Wolford
Attention: Clerk
P.O. Box 340
317 Brock Street West
Merrickville, ON, K0G 1N0

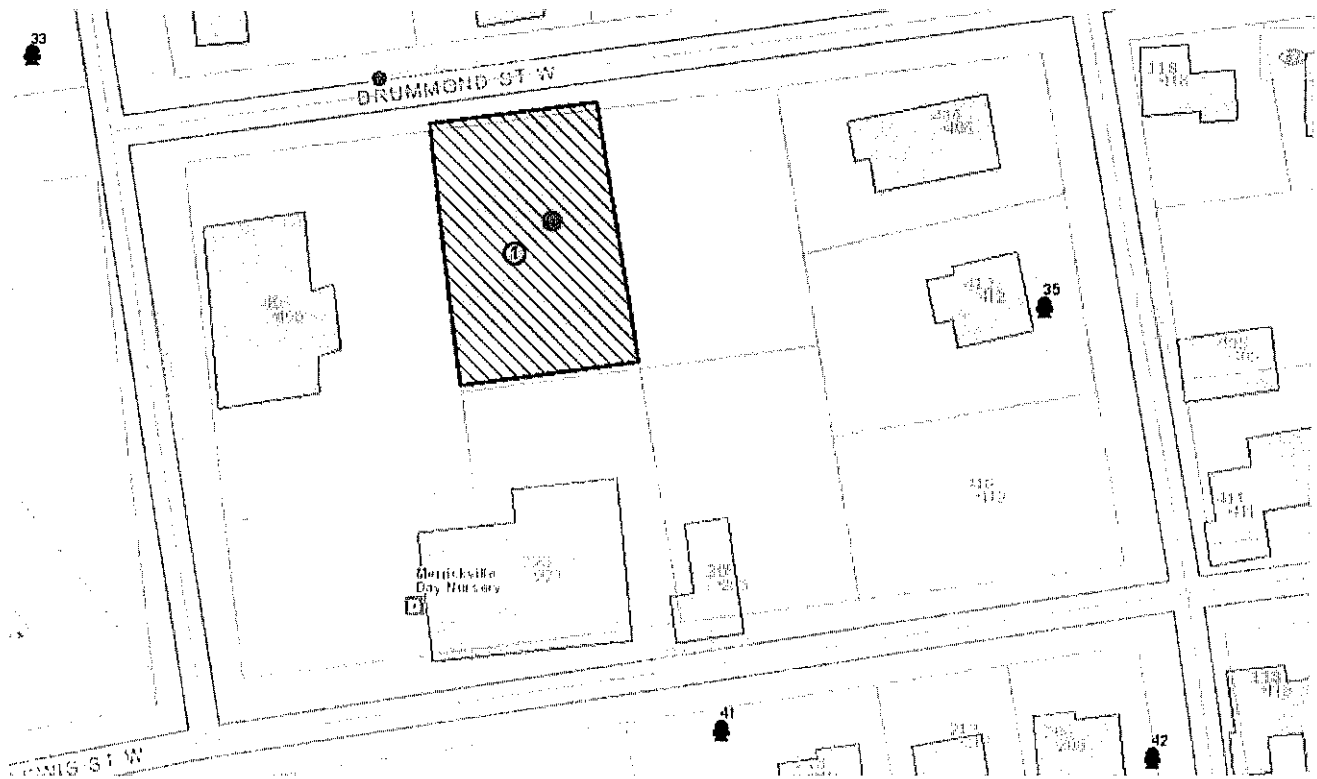
NOTE: One of the purposes of the Planning Act is to provide for planning processes that are open, accessible, timely and efficient. Accordingly, all written submissions, live comments, documents, correspondence, e-mails or other communications (including your name and address) form part of the public record and will be disclosed/made available by the municipality to such persons as the municipality sees fit, including anyone requesting such information. Accordingly, in providing such information, you shall be deemed to have consented to its use and disclosure as part of the planning process.

Dated at the Village of Merrickville-Wolford this 15th day of June, 2021.

Mr. Douglas Robertson, CAO/Clerk
Village of Merrickville-Wolford
317 Brock Street West
P.O. Box 340,
Merrickville, ON K0G
1N0

VILLAGE OF MERRICKVILLE-WOLFORD KEY MAP

FILE NO. ZBA-01-2021



**Location of Proposed Zoning By-law Amendment
outlined in Red**

**Village of Merrickville-Wolford
United Counties of Leeds-Grenville**
Application for amendment to Merrickville-Wolford
Zoning By-Law # 23-08
Planning Act, R.S.O. 1990 Chapter P.13 henceforth "the Act"

RECEIVED

AUG 12 2020

File #

OFFICE USE ONLY

Name of APPLICANT <u>Moderna Homes Design Inc</u> <u>c/o Gery Constantineau</u>		Name of AGENT (if the applicant is an agent authorized by the Owner) <input type="checkbox"/> Not applicable <u>ZanderPlan Inc.</u>	
Mailing address <u>84 Bridle Park Drive</u> <u>Ottawa, ON K2M 2W9</u>		Mailing address <u>P.O. Box 20148</u> <u>Perth, ON K7H 3M6</u>	
Telephone		Telephone <u>613-264-9600</u>	
Cell <u>613-888-1716</u>		Cell	
email <u>gery@modernahomesdesign.com</u>		email <u>tracy@zanderplan.com</u>	
If known, name of HOLDER of mortgage, charge or encumbrance <u>MODERNA Homes Design Inc</u>		If known, name of HOLDER of mortgage, charge or encumbrance	
Mailing address <u>84 Bridle Park Drive</u>		Mailing address	

OFFICIAL PLAN: Current designation <u>Residential</u>	ZONING: Current designation <u>R1</u>
--	--

DIMENSIONS OF SUBJECT LAND:		
Frontage <u>24.38m</u>	Depth <u>36.58m</u>	Area <u>892m2</u>

REZONING - Nature and extent of rezoning requested: <u>To rezone the subject property from R1 to R2.</u>	REZONING - Reason why rezoning is requested: <u>To allow for the development of a semi detached residential dwelling.</u>
--	---

DATE - If known, date subject land was acquired by current owner: <u>Oct 29, 2020</u>

LEGAL DESCRIPTION of subject land such as the municipality, concession and lot numbers, registered plan and lot numbers, reference plan and part numbers and name of street and number. See page 2 for details of plans required. <u>Lot 72, PL 6, Merrickville</u>

ACCESS - Access to the subject land will be by:		
<input type="checkbox"/> Provincial Highway	<input type="checkbox"/> Right-of-way	<input type="checkbox"/> Other public road (specify):
<input checked="" type="checkbox"/> Municipal road - year round	<input type="checkbox"/> Water	
<input type="checkbox"/> Municipal road - seasonal		

WATER ACCESS - Where access to the subject land is by water only: <input checked="" type="checkbox"/> Not applicable	
Docking facilities (specify):	Parking facilities (specify):
Distance from subject land	Distance from subject land
Distance from nearest public road	Distance from nearest public road

EXISTING USES of the subject land: <u>Vacant land</u>	If known, length of time the existing uses of the subject land have continued: <u>Indefinitely</u>
--	---

*Completed
Aug 4/21 - docs
sent
June 8/21
note of completion
application*

**Village of Merrickville-Wolford
United Counties of Leeds-Grenville**

New form as of August 29, 2012

EXISTING BUILDINGS - STRUCTURES - Where there are any buildings or structures on the subject land, indicate for each:

Type <u>N/A</u>	Front lot line setback _____	Height in metres _____
If known, date constructed: _____	Rear lot line setback _____	Dimensions _____
	Side lot setback _____	Floor area _____
	Side lot line setback _____	

Type _____	Front lot line setback _____	Height in metres _____
If known, date constructed: _____	Rear lot line setback _____	Dimensions _____
	Side lot setback _____	Floor area _____
	Side lot line setback _____	

Attach additional page if necessary

PROPOSED BUILDINGS - STRUCTURES - Where any buildings or structures are proposed on the subject land, indicate for each:

Type <u>Semi-Detached building</u>	Front lot line setback <u>6m</u>	Height in metres <u>~4m</u>
	Rear lot line setback <u>12.47m</u>	Dimensions _____
	Side lot setback <u>1.22m</u>	Floor area <u>99.41m²</u>
	Side lot line setback <u>1.22m</u>	

Type _____	Front lot line setback _____	Height in metres _____
	Rear lot line setback _____	Dimensions _____
	Side lot setback _____	Floor area _____
	Side lot line setback _____	

Attach additional page if necessary

WATER is provided to the subject land by:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Publicly-owned/operated piped water system | <input type="checkbox"/> Lake or other water body |
| <input type="checkbox"/> Privately-owned/operated individual well | <input type="checkbox"/> Other means (specify) _____ |
| <input type="checkbox"/> Privately-owned/operated communal well | |

SEWAGE DISPOSAL is provided to the subject land by:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Publicly-owned/operated sanitary sewage system | <input type="checkbox"/> Other means (specify) _____ |
| <input type="checkbox"/> Privately-owned/operated individual septic system | <input type="checkbox"/> Privy _____ |

STORM DRAINAGE is provided to the subject land by:

- | | | | |
|--|----------------------------------|---------------------------------|--|
| <input checked="" type="checkbox"/> Sewers | <input type="checkbox"/> Ditches | <input type="checkbox"/> Swales | <input type="checkbox"/> Other means (specify) _____ |
|--|----------------------------------|---------------------------------|--|

OTHER APPLICATIONS - If known, indicate if the subject land is the subject of an application under the Act for:

- | | | |
|---|--------------|--------------|
| <input type="checkbox"/> Approval of a plan of subdivision (under section 51) | File # _____ | Status _____ |
| <input type="checkbox"/> Consent (under section 53) | File # _____ | Status _____ |
| <input type="checkbox"/> Previous application (under section 34) | File # _____ | Status _____ |


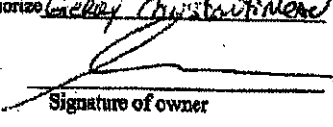
PLANS REQUIRED

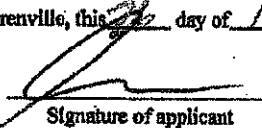

It will be necessary to submit preliminary site plans for the development at the time of the filing of this application. Minimum requirements will be a sketch showing the following:

1. The boundaries and dimensions of the subject land.
2. The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines.
3. The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells, and septic tanks.
4. The current uses on land that is adjacent to the subject land.
5. The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right-of-way.
6. If access to the subject land is by water only, the location of the parking and docking facilities to be used.
7. The location and nature of any easement affecting the subject land.

Village of Merrickville-Wolford
United Counties of Leeds-Grenville

New form as of August 29, 2012

AUTHORIZATION OF OWNER for Agent to make the application	
<input type="checkbox"/> Not applicable	
I, the undersigned, being the owner of the subject land, hereby authorize <u>Gerry Anshelmann</u> to be the applicant in the submission of this application.	
 Signature of witness Anthony Boyle, Barrister & Solicitor	 Signature of owner <u>26-03-2021</u> Date

DECLARATION OF APPLICANT	
I, <u>Gerry Anshelmann</u> , of the Village of Merrickville-Wolford in the United Counties of Leeds-Grenville, solemnly declare that:	
All the statements contained in this application and provided by me are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.	
DECLARED before me at the Village of Merrickville-Wolford in the United Counties of Leeds-Grenville, this <u>26</u> day of <u>March</u> , <u>2021</u>	
 Signature of applicant	 Signature of commissioner

Anthony Boyle, Barrister & Solicitor
& Commissioner

OFFICE USE ONLY	
<input type="checkbox"/> Signed copy provided to applicant (or agent).	
Application number _____	Date of submission _____
Checked by _____	Date of acceptance _____
Official Plan Policies _____	
Existing Zoning _____	Proposed Zoning _____
Pertinent restrictions and remarks _____	
Connected services: <input type="checkbox"/> Water <input type="checkbox"/> Sanitary sewer <input type="checkbox"/> Storm sewer	
General comments _____	

CODES AND STANDARDS

- AT THE TIME OF PREPARATION, THIS PLAN WAS DRAWN IN ACCORDANCE WITH THE BUILDING CODE OF THE CITY OF TORONTO. IT IS THE RESPONSIBILITY OF THE OWNER / BUILDER TO INQUIRE THAT CHANGES TO THE CODE ARE COMPLIED WITH AND ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF THE CITY OF TORONTO TO BY-LAW ORDINANCE AND REGULATIONS.
- PRIOR TO PROCEED WITH CONSTRUCTION, THE BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATIONS, WRITTEN DIMENSIONS MEASUREMENTS, ALL WORK SHALL BE OF A STANDARD EQUAL IN RESPECTS TO GOOD PRACTICE.
- ANY VARIANCES FROM THE DRAWINGS AND SPECIFICATIONS OR FROM CONDITIONS ENCOUNTERED AT THE JOB SITE, SHALL BE REPORTED TO THE OWNER / BUILDER AND SUCH SOLUTIONS SHALL BE THEIR SOLE RESPONSIBILITY.
- CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM USES SHALL NOT EXCEED THE DESIGN LOADINGS.
- THE BUILDER IS TO PROVIDE ALL NECESSARY TEMPORARY SUPPORT FOR WALLS AND FLOORS PRIOR TO THE CONSTRUCTION OF VERTICAL AND LATERAL LOAD SYSTEMS.
- THE OWNER / BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SITTING OF THE BUILDING ON THE PROPERTY.
- THE OWNER / BUILDER TO BE SURE FOR CONDITIONS SUCH AS SOIL, SHADOWS, ADJACENT PROPERTIES, PENETRATION, WATER TABLE OR DRAINAGE, ETC.
- ANY MATERIAL OR DESIGN CHANGES SHALL BE REPORTED TO AND APPROVED BY THE BUILDING DEPARTMENT.

JACOB RHEAUME PLANS

BCIN # 25470
FIRM BCIN # 43996

MODERNA HOMES DESIGN INC
MODEL "THE ALEXA IV"
1070 SQUARE FEET (PER UNIT)
409 67 PATRICK (PATRICK STREET)
GERRT (CONSTANTINEAU)
613-899-1116
moderna@moderna.com

SEMI DETACHED DWELLING

ELEVATIONS

SCALE 1/8"=1'-0"

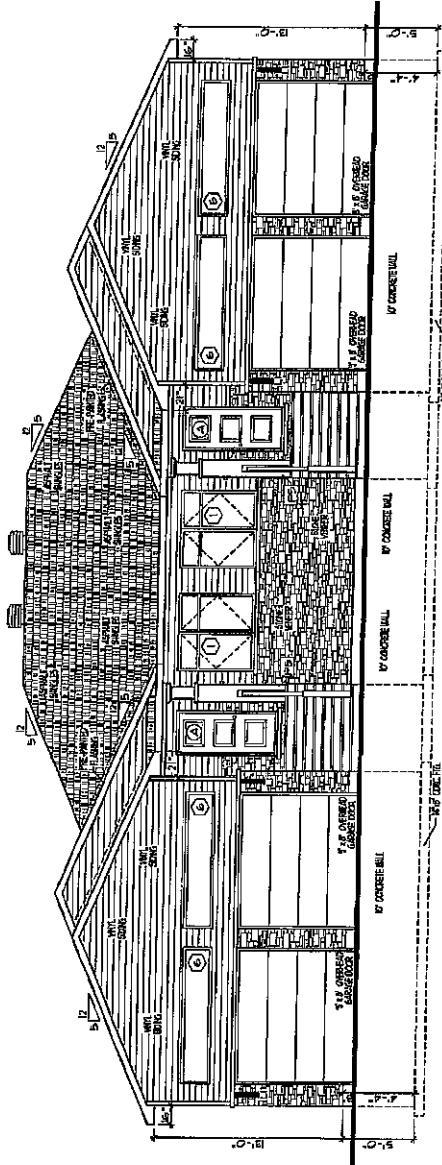
DATE 98-2020

1 of 9

- ### WINDOWS AND DOORS
- ALL EXTERIOR DOORS SHALL BE OF EXTERIOR TYPE AND COME WITH DEAD BOLT AND WEATHERSTRIP.
 - DOORS FROM PORCHES TO GARAGE IS CONSIDERED PATIO DOOR. ALL SHALL BE CAJ GLOMER DEAD BOLT AND WEATHERSTRIP.
 - ALL PATIO DOORS SHALL BE CAJ SECURITY BAR AND ARE TO BE ON THERMED GLASS.
 - WINDOWS FOR BEDROOMS IN INDIVIDUAL UNITS PROVIDED AN AREA SHALL BE A MINIMUM AREA OF 24 SQUARE FEET IN ANY DIMENSIONS LESS THAN 9' AND SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS.
 - ALL WINDOWS AND DOORS TO COMPLY WITH ENERGY EFFICIENT DESIGN SUMMARY.

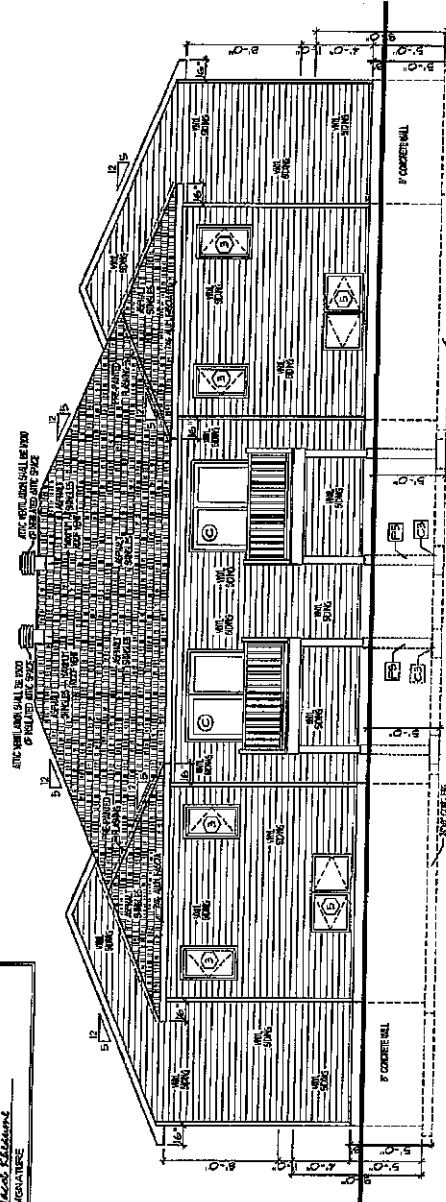
- ### GRADE AND FROST PROTECTION
- FINISHED GRADE SHALL BE AT LEAST 4'-6" ABOVE BOTTOM OF FOOTINGS.
 - FINISH GRADE SHALL NOT BE HIGHER THAN 4'-6" ABOVE TOP OF BASEMENT CONCRETE SLAB WHERE A FULL WALL UNSUPPORTED WALL IS BUILT.

- ### EXTERIOR FINISH
- CALLK OVER AND AROUND ALL EXTERIOR OPENINGS USING NON-FLAMING CALKING COMPOUND.
 - FLASH ALL CHANGES OF MATERIALS ON EXTERIOR WALL.
 - ALL SIDING FINISH TO BE A MINIMUM OF 8" ABOVE FINISH GRADE.
 - ALL BRICK OR STONE VENEER TO BE A MINIMUM OF 6" ABOVE FINISH GRADE.
 - ALL ROOFING SHALL BE APPLIED ACCORDING TO MANUFACTURERS RECOMMENDATIONS IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
 - ALL REQUIRED FLASHINGS TO BE 28 GAUGE GALVANIZED METAL UNLESS OTHERWISE SPECIFIED.



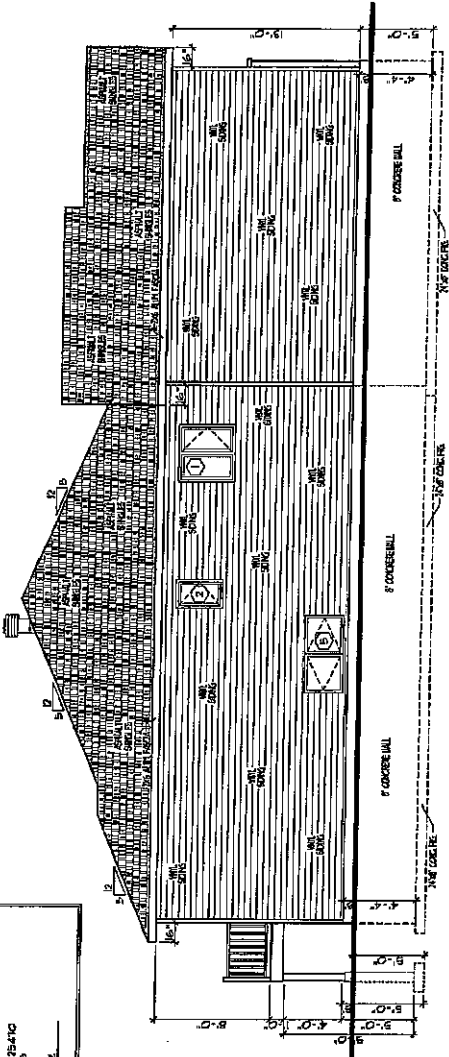
FRONT ELEVATION
SCALE 1/8"=1'-0"

JACOB RHEAUME DESIGN AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER THE BUILDING ACT AND THE BUILDING CODE. FIRM IS REGISTERED IN THE APPROPRIATE CLASSIFICATION CATEGORY.
INDIVIDUAL BCIN: 25470
FIRM BCIN: 43996
Jacob Rheume
SIGNATURE

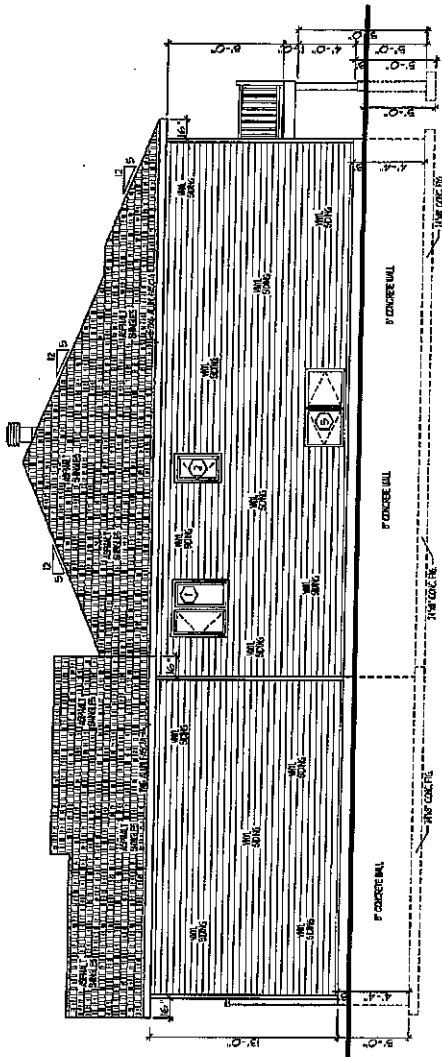


REAR ELEVATION
SCALE 1/8"=1'-0"

JACOB RHEAUME ARCHITECTURE
 RESPONSIBILITY FOR THE DESIGN WORK OR
 BEHALF OF A FIRM REGISTERED UNDER
 THE ARCHITECTS ACT OF 1990, OF THE
 BUILDING CODE, JANUARY 1, 1990, OF THE
 FIRM IS REQUIRED IN THE APPROPRIATE
 CLASSIFICATION REQUIRED.
 INDIVIDUAL BCIN 25470
 FIRM BCIN 43986
 JACOB RHEAUME
 SIGNATURE



SIDE ELEVATION
 SCALE 1/8" = 1'-0"



SIDE ELEVATION
 SCALE 1/8" = 1'-0"

EXTERIOR FINISH

- CAULK OVER AND AROUND ALL EXTERIOR OPENINGS USING NON-HARDENING CALLING COMPOUND ON EXTERIOR WALL
- FLASH ALL CHANGES OF MATERIALS ON EXTERIOR WALL
- ALL WORKING FINISH TO BE A MINIMUM OF 8" ABOVE FINISH GRADE
- ALL BRICK OR STONE VENEER TO BE A MINIMUM OF 6" ABOVE FINISH GRADE
- ALL ROOFING SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS AND CONFORM TO THE ONTARIO BUILDING CODE
- ALL REQUIRED FLASHINGS TO BE 2" MINIMUM GALVANIZED METAL UNLESS OTHERWISE SPECIFIED

WINDOWS AND DOORS

- ALL EXTERIOR DOORS SHALL BE OF EXTERIOR TYPE AND COME WITH DEAD BOLT AND LEATHERSTRIP
- DOORS FROM DUELLING TO GARAGE IS CONSIDERED EXTERIOR AND SHALL BE CLOSER DEAD BOLT AND LEATHERSTRIP
- ALL PATIO DOORS SHALL BE CLOSER DEAD BOLT AND ARE TO BE OF TYPED GLASS
- WINDOWS FOR BEDROOMS IN KITCHEN SHALL PROVIDE AN EGRESS ROUTE TO THE OUTSIDE. PORTION HAVING A MINIMUM OF 3.2 SQUARE FEET WITH NO DIMENSIONS LESS THAN 20" AND SHALL BE OPENED FROM THE INSIDE WITHOUT THE USE OF TOOLS
- ALL WINDOWS AND DOORS TO COMPLY WITH ENERGY EFFICIENT DESIGN BATTERY

GRADE AND FROST PROTECTION

- FINISHED GRADE SHALL BE AT LEAST 4" ABOVE BOTTOM OF FOOTING
- FINISH GRADE SHALL NOT BE HIGHER THAN 4" ABOVE OR LOWER THAN 4" BELOW BASE OF A LATERALLY UNSUPPORTED WALL IS BUILT

CODES AND STANDARDS

- AT THE OF PREPARATION THIS PLAN WAS DRAWN IN ACCORDANCE WITH THE CURRENT EDITION OF THE ONTARIO BUILDING CODE. IT IS THE RESPONSIBILITY OF THE OWNER / BUILDER TO INQUIRE THAT CHANGES TO THIS CODE ARE OBSOLETE WITH ALL APPROPRIATE ASSESSMENT OF THE CONSTRUCTION. ALL WORK SHALL CONFORM TO BYLAWS, ORDINANCE AND REGULATIONS
- PRIOR TO PROCEED WITH CONSTRUCTION THE BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATIONS OR PRIOR CONDITIONS. ALWAYS TAKE PRECAUTIONS TO BE OF A STANDARD EQUAL IN RESPECTS TO GOOD PRACTICE
- ANY VARIANCES FROM THE DRAWINGS AND SPECIFICATIONS OR PRIOR CONDITIONS SHALL BE REPORTED TO AND APPROVED BY THE BUILDER
- THE BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SITTING OF THE BUILDING ON THE PROPERTY
- THE OWNER / BUILDER TO BE RESPONSIBLE FOR THE CORRECT SITTING OF THE BUILDING ON THE PROPERTY
- PENETRATION WATER TABLE OR BURIED STRUCTURES, ETC.
- ANY MATERIAL OR DESIGN CHANGES SHALL BE REPORTED TO AND APPROVED BY THE BUILDING DEPARTMENT

DATE: 2020/07/20
 06/10/2020

**JACOB RHEAUME
 PLANS**
 BCIN # 25470
 FIRM BCIN # 43986

MODERNA HOMES DESIGN INC
 MODEL "THE ALEXA IV"
 810 SQUARE FEET (PER UNIT)
 405 ST. PATRICK (COMMON STREET)
 GERRY (COMMON STREET)
 613-088-1716
 moderna-homes-design.com

SEMI DETACHED DUELLING
 ELEVATIONS
 SCALE 1/8" = 1'-0"
 98-2020
 PAGE 2 OF 3

BASMENT

- 4" PERFORATED FILTERED DRAINING TILE TO BE INSTALLED ON THE PERIMETER OF ALL FOOTING SURROUNDING LIVING & BASEMENT AREA AND COVERED WITH 6" OF CLEAR STONE
- POLYETHYLENE 6 MIL VAPOR BARRIER SHALL BE INSTALLED UNDER BASEMENT CONCRETE SLAB UNLESS RIGID INSULATION IS PROVIDED FOR INSULATION

- PROVIDE MOISTURE BARRIER TO AVOID ANY CONTACT BETWEEN WOOD

- AND CONCRETE UNLESS PRESSURE
TREATED WOOD IS USED

- **BI - BEAM POCKET INTO CONCRETE WALL TO BE FILLED WITH NON-SHRINK GROUT, DIMENSIONS TO BE CONFIRMED ON SITE BY CONTRACTOR.**

SOIL BEARING

- ALL FOOTINGS AND PADS MUST BE CARRIED DOWN TO ELEVATIONS SPECIFIED ON UNDISTURBED SOIL HAVING B61 P.S.F. (19 KPA) BEARING CAPACITY
- ALLOWABLE SOIL BEARING MUST BE CONFIRMED BY A COMPETENT GEOTECHNICAL ENGINEER

- 1 (ELEVATION)
- GEOTECHNICAL ENGINEER

BACKHILL

- BACKFILL SHALL BE GRADED WITH 2% SLOPE TO PREVENT DRAINAGE TOWARDS THE FOUNDATION AFTER SETTLING.
- GARAGE BACKFILL TO BE CLEAN SAND UNDER CONCRETE SLAB
- CLEAN SAND SHALL BE COMPACTED WITH VIBRATING PLATE AT EVERY 12"

- 17 of 17

- | | |
|--|--|
| | |
|--|--|

Small - Issued For Repair

Small - Issued For Repair

JACOB RHEAUME

PLANS

BCN # 25470

FIRM BCIN # 43996

MODERNA HOMES DESIGN INC

MODEL "THE ALEXA IV"
1070 SQUARE FEET (PER UNIT)
405 AT-PATRICK (DEVELOPMENT)

613-885-1716
GERRY CONSTANTINEAU

மேல்குறிப்பிட்டவர்களுக்கிடையே

SEMI-DETACHED DWELLING

THE NEW YORK PUBLIC LIBRARY

WILLIAMS

98-2020

7	8	9
10	11	12
13	14	15
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373	374	375



POST SCHEDULE

P1	(1x2) 3" STEEL POST CANTERBURY-17-94
P2	(7x1) 3" STEEL POST CANTERBURY-12-94
P3	(2x1) 2x6 SPRUCE LUMBER
P4	(2x1) 2x6 SPRUCE LUMBER
P5	(1x1) 6x6 PT LUMBER-TWO SCORCHTITE SCANTOLINE
P6	"SCOT JACK" COT TYPE 1 HEAVY DUTY (18,000 LBS BEARING CAP)
P7	USE P1 OR P2 (14,000 LBS LOAD MAX)

NOTES: ALL POSTS ARE TO BE ANCHORED AT THE BASE

HEADER SCHEDULE

H1	(2x) 2x10 SPRUCE LUMBER
H2	(3x) 2x12 SPRUCE LUMBER
H3	(2x) LVL 3/4" x 9 1/2"
H4	(2x) LVL 3/4" x 9 1/2"
H5	INTEL BY FLOOR/ROOF JAILIE

PAD SCHEDULE

C1	36"X36"X10"	C/W	15M	Ø8"	c/c	B/W
C2	43"X43"X10"	C/W	15M	Ø8"	c/c	B/W
C3	24"X24"X10"	ØR	EQUIVALENT			
C4	36"X36"X14"	ØR	EQUIVALENT			

1. JACOB REAUME, REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORKS ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF DIVISION C OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSIFICATION CATEGORIES.

DIVISION FCIN: 75470

FROM BCINC 419916
David R. Evans
 SIGNATURE

1

1

10

P1	(1) 3" STEEL POST CANCERED-12-94
P2	(1) 3" STEEL POST CANCERED-12-94
P3	(1) 2X6 SPRUCE LUMBER
P4	(1) 2X6 SPRUCE LUMBER
P5	(1) 2X6 SPRUCE LUMBER
P6	(1) 2X6 SPRUCE LUMBER
P7	(1) 2X6 SPRUCE LUMBER
P8	(1) 2X6 SPRUCE LUMBER
P9	(1) 2X6 SPRUCE LUMBER
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P95	(1) 2X6 SPRUCE LUMBER
P96	(1) 2X6 SPRUCE LUMBER
P97	(1) 2X6 SPRUCE LUMBER
P98	(1) 2X6 SPRUCE LUMBER
P99	(1) 2X6 SPRUCE LUMBER
P100	(1) 2X6 SPRUCE LUMBER

FIRST FLOOR	1070 sq ft PER UNIT
TOTAL	1070 sq ft PER UNIT
BASEMENT	1070 sq ft PER UNIT
GARAGE	486 sq ft PER UNIT
FRONT DECK	30 sq ft PER UNIT
REAR DECK	48 sq ft PER UNIT
TOTAL LOT COVERAGE	2366 sq ft

HEADER SCHEDULE	
H1	(2x4) 2x40 SFRACE LUMBER
H2	(3x6) 2x40 SFRACE LUMBER
H3	(2x2) 1x1 3/4" x 9' 1/2"
H4	(3x6) LVL 1 3/4" x 9' 1/2"
H5	LINTEL BY FLOORJOIST HANDED

C1	36"x36"x10"	CAN 1M	1B"	c/c BAL
C2	42"x42"x10"	CAN 1M	1B"	c/c BAL
C3	24"x24"x10"	OR EQUIVALENT		
C4	36"x36"x14"	OR EQUIVALENT		

- ALL EXTERIOR DOORS SHALL BE OF EXTERIOR TYPE AND SHALL BE DEAD BOLT AND WEATHERSTRIP
- DOORS FROM DUELLING TO GARAGE IS CONSIDERED EXTERIOR AND SHALL BE CAT CLOSER
- ALL PATIO DOORS SHALL BE CAT SECURITY BARS AND ARE TO BE OF TEMPERED GLASS
- ALL WINDOWS AND DOORS TO CORRELATE WITH ENERGY EFFICIENT DESIGN CRITERIA

[illegible]

- CONTRACTOR/OWNER SHALL PROVIDE ALL LOCATES FOR HYDRO, WATER LINES, SANITARY/STORM DRAINAGE, GAS AND TELEPHONE/CABLE WIRES
- BUILDING LOCATION SURVEY FROM ONTARIO LAND SURVEYOR
- GRADING PLAN FROM ONTARIO LAND SURVEYOR OR CIVIL ENGINEER

8. B. CONTINUANCE OPTION	50-2 PRESCRIPTION (60 R. x 100 A. 100) LOT PRICE PACKAGE = 41
9. C. PROJECT DESIGN CONDITIONS	ZONE 1 LESS THAN 1000 DEGREE DAY/1000 MOORE THAN OR EQUAL TO 350 JUNE
10. CLIMATE ZONE	6/45
11. SPACE HEATING EQUIPMENT	1377 SQUARE FEET TOTAL
12. SPACE HEATING EQUIPMENT	1377 SQUARE FEET TOTAL
13. WINDOWS / SGLIGHTS / GLASS DOORS	1377 SQUARE FEET TOTAL
14. AREA OF WALL	1377 SQUARE FEET TOTAL
15. % OF WINDOWS	1377 SQUARE FEET TOTAL
16. OTHER BUILDING SPECIFICATIONS	1377 SQUARE FEET TOTAL
17. BUILDING SPECIFICATIONS	1377 SQUARE FEET TOTAL
18. THERMAL INSULATION	MINIMUM TOTAL R-VALUE
19. CEILING WITH ATTIC SPACE	R-60
20. EXTERIOR WALL WITH ATTIC SPACE	R-31
21. EXTERIOR WALL	R-31
22. BASEMENT WALLS	R-30 (1) OR R-20 (2) / R-12
23. SLAB (HEATED)	R-30
24. UNUSUAL DOORS	1377 SQUARE FEET TOTAL
25. WINDOWS / SLIDING GLASS DOORS	1377 SQUARE FEET TOTAL
26. SGLIGHTS	1377 SQUARE FEET TOTAL
27. PERMANENT GLASS	1377 SQUARE FEET TOTAL
28. SPACE HEATING EQUIPMENT (%)	98 %
29. SPACE HEATING EQUIPMENT (%)	15 %
30. WALL HEATING (%)	0.00 %
31. CHILLER EFFICIENCY (%)	42 % (1) 40 % (2)
32. DESIGNERS	1377 SQUARE FEET TOTAL
33. ARCHITECTURAL	1377 SQUARE FEET TOTAL

WALLS AND CEILING SHALL BE FINISHED WITH 1/2" REGULAR TYPE CERAMIC TILE WITH GROUTED JOINTS UNLESS OTHERWISE SPECIFIED ON PLANS.

UNFINISHED FLOORING SHALL BE WATER RESISTANT IN ENTRANCES, BATHROOMS, KITCHEN & LAUNDRY ROOM.

FLOOR FINISHES

1. HARDWOOD FLOORING
2. CERAMIC TILE
3. LAMINATED FLOORING
4. CUSHION FLOORING
5. CARPET FLOORING
6. CONCRETE

CAULK COVER AND AROUND ALL JOINTS AND PENETRATIONS USING AN ELASTOMERIC SEALANT.
FLASH ALL CHANGES OF MATERIALS TO EXTERIOR WALL.
ALL SIDING FINISH TO BE A MINIMUM 1/8" ABOVE FINISH GRADE
FLASH ALL BRICK OR STONE VENEER TO BE A MINIMUM OF 6" ABOVE FINISH GRADE
ALL SPOUTS SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND CONFORM TO THE ONTARIO BUILDING CODE
ALL REQUIRED FLASHINGS TO BE 28 GAUGE GALVANIZED METAL UNLESS OTHERWISE SPECIFIED

BCN # 25470
FIRM BCN # 43996

613-288-1776
GENERAL CONSTRUCTION

LES
NO 8 SCALE
22
2020
APR 28 8 09
APR 28 8 09

CLEAR SPAN	ANGLES FOR STONE
3'-0" OR LESS	1-5° to 17° ± 5/60°
4'-0"	1-5° to 17° ± 5/60°
5'-0"	1-5° to 17° ± 5/60°
6'-0"	1-5° to 17° ± 5/60°
7'-0"	1-5° to 17° ± 5/60°
8'-0"	1-5° to 17° ± 5/60°
9'-0"	1-5° to 17° ± 5/60°
10'-0"	1-5° to 17° ± 5/60°

- ALL ANGLES BEARING SHALL BE AT LEAST 5 1/8" AT END SUPPORT
- PROVIDE FLASHING FOR BRICK OR STONE VENEER THAT SHALL BE 6" UP BEHIND THE BUILDING FELT AND BELOW THE DOTTION COURSE
- PROVIDES WEATHER-ROLES • EVERY 24" c/c ON ALL BRICK AND STONE WORK
- BRICK VENEER TIES SPACING TO BE A MAXIMUM OF 16" c/c VERTICAL AND 24" c/c HORIZONTAL

Q.	DIMENSION	LOCATION	COMMENTS
1	56" x 64"	LIVING ROOM	2 SECTIONS, CASSETT WINDOW
2	56" x 64"	DINING ROOM	1 SECTION, CASSETT WINDOW
3	36" x 48"	KITCHEN	1 SECTION, CASSETT WINDOW
4	48" x 48"	REAR PORCH #2	2 SECTIONS, CASSETT WINDOW
5	64" x 36"	BATHROOM	2 SECTIONS, SLIDER WINDOW
6	14" x 36"	GARAGE	1 SECTION, P.N. WINDOW

NOTE: ALL WINDOWS ARE NOMINAL SIZE. BEFORE FINISHING, CONTRACTOR SHALL VERIFY WITH SUPPLIER ON FABRICATOR FOR EXACT ROUGH OPENINGS.

[illegible]

Q.	DIMENSION	LOCATION	COMMENTS
A	14' x 80"	ENTRY	METAL DOOR
B	14' x 80"	APRILS TO DWELLING	METAL DOOR
C	11' x 80"	KITCHEN	METAL DOOR
D	12' 24" x 80"	ENTRY CLOSET	HOLLOW CORE DOUBLE DOOR
E	9'5" x 80"	BEDROOM #2	HOLLOW CORE DOUBLE DOOR
F	12' 24" x 80"	BEDROOM #1 CLOSET	HOLLOW CORE DOUBLE DOOR
G	9'5" x 80"	MAIN BATHROOM	HOLLOW CORE DOUBLE DOOR
H	12' 24" x 80"	LAUNDRY CLOSET	HOLLOW CORE DOUBLE DOOR
I	30' x 80"	MASTER BEDROOM	HOLLOW CORE DOOR
J	30' x 80"	MASTER BEDROOM CLOSET	HOLLOW CORE DOOR
K	30' x 80"	ENCLITE BATHROOM	HOLLOW CORE DOOR

NOTES: ALL UNITS ARE NOMINAL SIZE BEFORE SHIMMING.
CONTRACTOR SHALL VERIFY WITH WAREHOUSE
OR MANUFACTURER FOR EXACT SLOUGH OPENINGS.

I, JACOB RHEAUME, REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BUREAU OF PATENT REGISTERED UNDER SUBJECT CLASS 27.4 OF DIVISION C, OF THE BUILDING ACT OF 1946. A QUALIFIED, AND THE FIRST IS REGISTERED IN THE APPROPRIATE CLASSIFIED RECORDS.

INDIVIDUAL BORN: 25410
FIRST BORN: 43996

Jacob Rheume
SIGNATURE

ZanderPlan

Your rural land planning experts

May 10, 2021

Township of Merrickville-Wolford
317 Brock Street West
PO Box 340
Merrickville, ON
K0G 1N0

To Whom it May Concern:

RE: Application for Zoning By-law Amendment
Vacant lot on Drummond Street
Applicant: Moderna Homes Design Inc.

ZanderPlan has been retained to assist with a zoning by-law amendment for a vacant lot on Drummond Street in the Village of Merrickville. The purpose of the Zoning Amendment is to re-zone the subject property from Residential Type 1 (R1) to Residential Type 2 (R2) to permit the construction of a semi-detached building on the property. The Zoning Amendment is required as the R1 zone does not permit a semi-detached building.

SUBJECT PROPERTY

The subject property is legally described as Lot 72, Plan 6, Merrickville, and is located on the south side of Drummond Street, in a block between St. Patrick and St. John Streets. It is a recently severed, vacant lot in an established residential neighbourhood. Lands to the north, east and west are residential in nature, while lands to the south, facing to Lewis Street include residential uses as well as a daycare/school building.

OFFICIAL PLAN

The subject property falls within the Residential designation on Schedule B-1 to the Official Plan for the Township of Merrickville-Wolford. This designation permits a wide range of residential uses including semi-detached dwelling units. The property is in a part of the Village where municipal services are available, and the proposed semi-detached building will be serviced with municipal sanitary and water service, and will have direct access to an existing municipal street. There are no natural heritage features, agricultural uses or other land uses on or within proximity to the site that would restrict development or result in a land use conflict.

Section 4.2.1.3 of the Plan anticipates "new development, redevelopment and intensification" through the development approvals process, and anticipates higher densities. The settlement

ZanderPlan

Your rural land planning experts

The R2 zone permits a variety of land uses including semi-detached dwelling units. The provisions are as follows:

R2 zone provisions: Semi-detached dwelling on full municipal services		
ZONE PROVISIONS	REQUIRED	PROPOSED
Min Lot Area	270 m ²	445 m ²
Min Lot Frontage	9 m	12 m
Min Front Yard Depth	6 m	6 m
Min Exterior Side Yard	3 m	n/a
Min Interior Side Yard	3 m except 1.2 m where garage or carport attached	1.2 m
Min Rear Yard Depth	6 m	12.47 m
Min Dwelling Unit Area	70 m ²	93 m ²
Min Landscaped Open Space	30%	32%
Max Building Height	11 m	<6 m
Min Parking	1/dwelling unit	2 proposed (1 in garage)

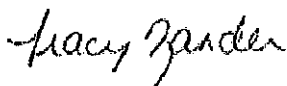
As noted in the table above, the proposed semi-detached building will comply with all of the zone requirements for the R2 zone. The proposal also meets all other relevant provisions of the Zoning By-law, including accommodating all required parking onsite.

SUMMARY

The owner is proposing to re-zone the subject property from R1 to R2 to permit the construction of a semi-detached building, in an established residential area, on full municipal services. The proposal meets the intent of the Official Plan for residential uses and intensification, and is consistent with the policies in the 2020 PPS for growth in a settlement area. The proposed semi-detached building complies with all of the provisions of the R2 zone and no exceptions are required. The proposal represents good planning within a settlement area.

Should you require any additional information, please don't hesitate to contact the undersigned.

All respectfully submitted by:



Tracy Zander, M.Pl, MCIP, RPP

Established 1793
Incorporated
Wolford 1850
Merrickville 1860
Amalgamated 1998



Telephone (613) 269-4791
Facsimile (613) 269-3095

VILLAGE OF MERRICKVILLE-WOLFORD

Resolution Number: R - - 21

Date: July 7, 2021

For Clerk's use only, if
required:

**Recorded Vote Requested
By:**

Cameron	Y	N
Foster	Y	N
Halpenny	Y	N
Molloy	Y	N
Struthers	Y	N

Moved by: Cameron Foster Halpenny Molloy

Seconded by: Cameron Foster Halpenny Molloy

WHEREAS the Council of the Corporation of the Village of Merrickville-Wolford now closes the statutory public meeting held this 7th day of July, 2021, under Section 34 (12) of the Planning Act to consider zoning by-law amendment application for lands described as **Lots 72, Plan 6 in the Village of Merrickville-Wolford**

Be it hereby resolved that:

The Council of the Corporation of the Village of Merrickville-Wolford pass by-law 38-2021 to rezone the lands described as Lot 72, Plan 6, Village of Merrickville from "Residential Type One (R1)" to "Residential Type Two (R2).

Carried / Defeated

J. Douglas Struthers, Mayor

CORPORATION OF THE VILLAGE OF MERRICKVILLE-WOLFORD
BY-LAW No. 38-2021

Being a By-law to amend Zoning By-law No. 23-08, as amended.

Lot 72, Plan 6 in the Village of Merrickville-Wolford, on the south side of Drummond Street West, in a block between St. Patrick and St. John Streets

PURSUANT TO SECTION 34 OF THE PLANNING ACT, 1990, THE VILLAGE OF MERRICKVILLE-WOLFORD HEREBY ENACTS AS FOLLOWS:

1. THAT By-law Number 23-08 be and the same is hereby amended as follows:

- (a) Schedule "B" to By-law 23-08 is amended by rezoning those lands described as Lot 72, Registered Plan 6, in the geographic Village of Merrickville, Village of Merrickville-Wolford, from "Residential Type One (R1)" to "Residential Type Two - Holding (R2-h)", as shown on Schedule "A" attached hereto.
- (b) By adding the following new subsection to **5.2.4 Holding Zones:**

"5.2.4 Holding Zones

2. Residential Two - holding (R2-h)

Until such time as the holding symbol is removed from lands described as part of Lot 72, Registered Plan 6, in the geographic Village of Merrickville and delineated as Residential Two- holding (R2-h) on Schedule "B" (Merrickville Ward) to this By-law, in accordance with the conditions set forth herein, no person shall use land or erect or use a building or structure, except in accordance with the following:

(a) Permitted Uses

- Existing uses in existing locations
- Open space
- Passive recreation that does not require a building

(b) Conditions for removal of Holding (h) Symbol

A site plan pursuant to Section 41 of the Planning Act for the development permitted under the Residential Two (R2) Zone is submitted to the municipality and Council gives final approval to the site plan whereupon a Site Plan Agreement under Section 41 of the Planning Act is executed and registered on title.

2. THAT save as aforesaid all other provisions of By-law 23-08, as amended, shall be complied with.
3. This By-law shall come into force and take effect on the day of final passing thereof.

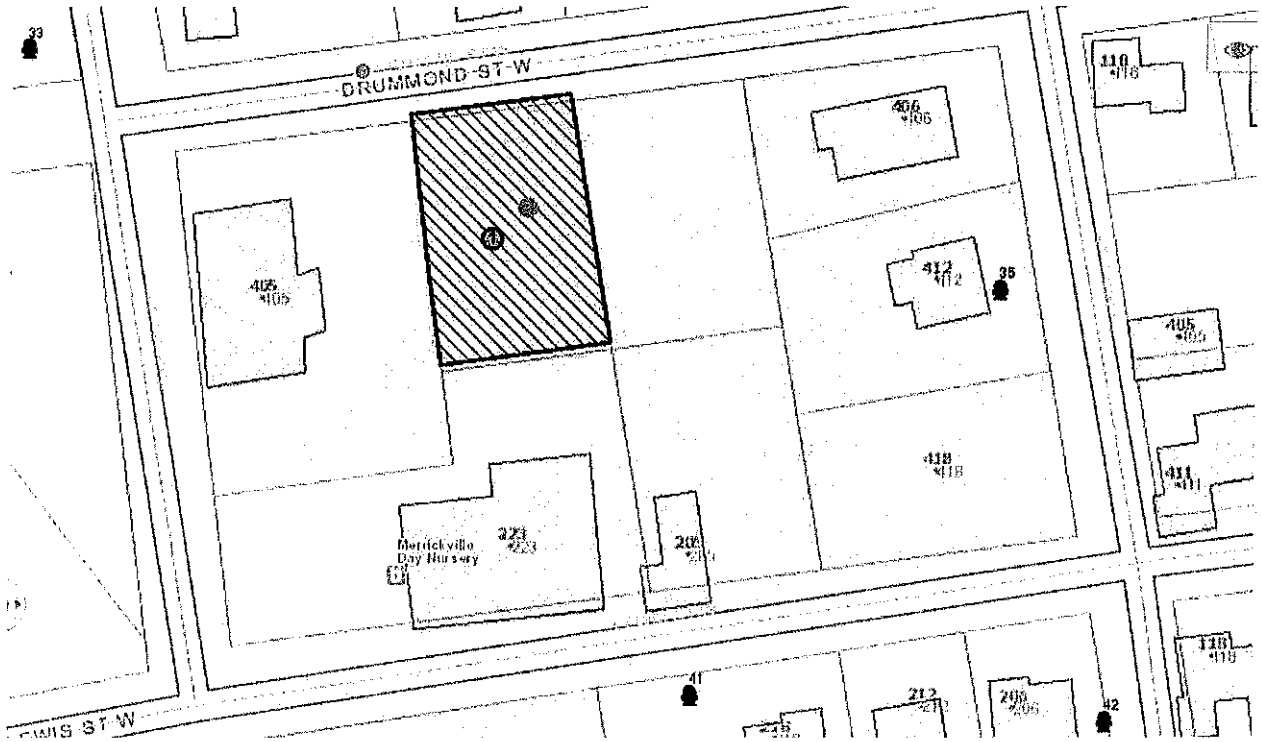
This By-law given its FIRST and SECOND reading this _____ day of _____ 2021.

This By-law read a THIRD time and finally passed this _____ day of _____ 2021.

MAYOR

CORPORATE
SEAL OF
MUNICIPALITY

CLERK



Lands to be rezoned from
"Residential Type One (R1)" to
"Residential Type Two (R2)"

Established 1793
Incorporated
Wolford 1850
Merrickville 1860
Amalgamated 1998



Telephone (613) 269-4791
Facsimile (613) 269-3095

VILLAGE OF MERRICKVILLE-WOLFORD

Resolution Number: R - - 21

Date: July 7, 2021

For Clerk's use only, if required:

Recorded Vote Requested By:

Cameron	Y	N
Foster	Y	N
Halpenny	Y	N
Molloy	Y	N
Struthers	Y	N

Moved by: Cameron Foster Halpenny Molloy

Seconded by: Cameron Foster Halpenny Molloy

Be it hereby resolved that:

This special meeting of the Council of the Corporation of the Village of Merrickville-Wolford does now adjourn at p.m. until the call of the Mayor subject to need.

Carried / Defeated

J. Douglas Struthers, Mayor

THE CORPORATION OF THE VILLAGE OF MERRICKVILLE-WOLFORD

BY-LAW 39-2021

BEING A BY-LAW TO CONFIRM THE PROCEEDINGS OF THE COUNCIL OF THE CORPORATION OF THE VILLAGE OF MERRICKVILLE-WOLFORD AT ITS MEETINGS HELD ON JULY 7, 2021

WHEREAS section 5(3) of the Municipal Act, 2001 states that municipal power, including a municipality's capacity, rights, powers and privileges, shall be exercised by by-law, unless the municipality is specifically authorized to do otherwise;

AND WHEREAS it is deemed expedient that the proceedings of the Council of the Corporation of the Village of Merrickville-Wolford (hereinafter referred to as "Council") at its meetings held on July 7, 2021 be confirmed and adopted by by-law;

NOW THEREFORE the Council of the Corporation of the Village of Merrickville-Wolford hereby enacts as follows:

1. The proceedings and actions of Council at its meetings held on July 7, 2021 and each recommendation, report, and motion considered by Council at the said meetings, and other actions passed and taken by Council at the said meetings are hereby adopted, ratified and confirmed.
2. The Mayor or his or her designate and the proper officials of the Village of Merrickville-Wolford are hereby authorized and directed to do all things necessary to give effect to the said action or to obtain approvals where required and, except where otherwise provided, the Mayor and Clerk are hereby directed to execute all documents necessary in that regard, and the Clerk is hereby authorized and directed to affix the Corporate Seal of the Municipality to all such documents.

This by-law shall come into force and take effect immediately upon the final passing thereof.

Read a first, second and third time and passed on the 7th day of July, 2021.

Doug Stuthers, Mayor

Doug Robertson, CAO/Clerk