



Committee of Adjustment

AGENDA

April 8, 2021 at 6:00 p.m.

Merrickville Community Centre, 106 Read Street, Merrickville

1. Call to Order
2. Disclosure of Pecuniary Interest and Nature Thereof
3. Appointment of Chairperson for this meeting
4. New Business:
 1. File No. A-01-2021 re: 235 Boyds Landing Lane North, Village of Merrickville-Wolford
 2. File No. A-03-2021 re: 330 Broadway Street West, Village of Merrickville-Wolford
 3. File No. A-04-2021 re: 323 St. Lawrence Street, Village of Merrickville-Wolford
 4. File No. A-05-2021 re: 317 Main Street East, Village of Merrickville-Wolford
5. Adjournment

A-01-2021

Established 1793
Incorporated
Wolford 1850
Merrickville 1860
Amalgamated 1998



Telephone (613) 269-4791
Facsimile (613) 269-3095

THE CORPORATION OF THE VILLAGE OF MERRICKVILLE-WOLFORD
Application for Minor Variance or Permission

FOR OFFICE USE ONLY

Date the Application was Received by the Village: _____

1. Property Owner's Name: Jeff Swan
 Address: 5754 Fairfield Rd Brockville on
 Postal Code: K6V 5T5
 e-mail: _____
 Telephone: Home: _____ Work: _____
 Cell: _____ Fax: _____
2. Applicant/Agent Name: Travis MacEachern
 Address if different from Owner: 11644 Smoile Rd
 Postal Code: K0E 1G0
 e-mail: _____
 Telephone: Home: _____ Work: _____
 Cell: _____ Fax: _____
3. Name and address of any mortgages, holders of charges or other encumbrances of the subject lands:
N/A
4. Legal Description of Property: Former Municipality _____
 Lot(s): part 14 Concession: A
 Lot(s): _____ Registered Plan: _____
 Part(s): _____ Reference Plan: _____
 Street Address: _____
 Roll Number: 0714-711-01-06900 Survey Attached: Yes / No
5. Are there any easements or restrictive covenants affecting the subject property? Yes No
6. If yes, please describe the easement or covenant:

7. Dimensions of lands affected: Frontage: 60'
 Depth: 100'
 Area: .14 Acre
 Width of Street: _____
8. Nature and extent of relief applied for: Allow for existing deck to be covered

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9. Why is it not possible to comply with the provisions of the By-Law?

entire property is within set-back

10. Existing Village of Merrickville-Wolford Official Plan designation of the land:

res.

11. Existing Village of Merrickville-Wolford Zoning of the land:

LSR

12. Existing County Official Plan Designation:

LSR

13. Other applications submitted with this application:

Official Plan Amendment ☐

Consent ☐

Zoning ☐

Plan Of Subdivision ☐

N/A

14. Have the subject lands ever been the subject of an application for an official plan amendment, zoning amendment, minor variance or site plan control?

Yes ☐ (please provide details below) No ☐

N/A

15. Existing use of subject property and length of time this use has continued on the subject property if known please provide length of time that the existing use has continued:

40+ years

16. Description of all buildings and structures on or proposed for the subject lands (specify ground floor area, gross floor area, number of storeys, width, length, height of buildings as well as distance from side, rear and front lot lines):

ext. 7' 25' 4" x 25' 3" L shaped single storey w/ flooring
deck 7' 11" x 16' 7"

Existing:

Proposed:

same footprint w/ roof extended over deck w/ four columns for support

17. Date of construction of all buildings and structures on subject lands:

40+ years

18. Does this application require demolition of an existing building?

Yes ☐ No ☒

If yes, please specify:

One small corner being removed/rebuilt

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19. Number of Parking Spaces
Number of Existing: 44 Number of Proposed: 44

20. Type of access to the lands and name of road:

Provincial Highway	_____	County Road	_____
Year-Round Municipal Road	_____	Seasonal Municipal Road	_____
Unopened Road Allowance	_____	Private Right-of-Way	_____
Water Access	_____	Other, please specify	_____

21. Services currently available, or to be available:

	Municipal Water	Communal Water	Private Water	Municipal Sewers	Communal Sewers	Private Septic
Existing	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Proposed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

22. Are Stormwater Sewers present? Yes ☐ No ☒ Proposed ☐

23. Are there any of the following uses or features on the subject lands or within 500 metres of the subject property?

Use or feature	On a Subject Land?	Within 500 m of Subject Land?
An agriculturally designated area		
A livestock facility (ie. Barn) or manure storage facility		
A landfill site (active or closed)		
A sewage treatment plant/lagoon		
An industrial use		
A licensed pit or quarry or an area designated for aggregate extraction		
A mining hazard		
An active railway line		
A flood plain or other natural hazard	X	X
A natural gas or oil pipeline		
A hydro easement		
A contaminated site		
A well head protection zone		
A provincially significant wetland		X
An area of natural and scientific interest (ANSI)		
Fish/Wildlife Habitat		X
A designated heritage property		

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THE CORPORATION OF THE VILLAGE OF MERRICKVILLE-WOLFORD

MUST BE COMPLETED IN THE PRESENCE OF A "COMMISSIONER". THE MUNICIPAL CLERK IS AN AUTHORIZED COMMISSIONER.

I, Travis MacEachern of the town of Brimston, in the County of South Dundas, hereby solemnly declare that the information contained in this application are on the attached plan and any associated information submitted with this application are, to the best of my belief and knowledge, a true and complete representation of the purpose and intent of this application.

There is a minimum NON-REFUNDABLE fee of \$500.00 (Charges incurred or disbursements over this amount shall be charged to the applicant, plus the costs charged by outside agencies.)

Date: Oct. 23/2020

Signature of Owner: _____

Signature of Agent or Applicant: [Signature]

DECLARED BEFORE ME AT THE Village OF Merrickville-Wolford IN THE County OF Leeds & Grenville, THIS 23 DAY OF October, 2020.

Kirsten Rahm

Treasurer, Commissioner

A COMMISSIONER, ETC:

Kirsten Rahm

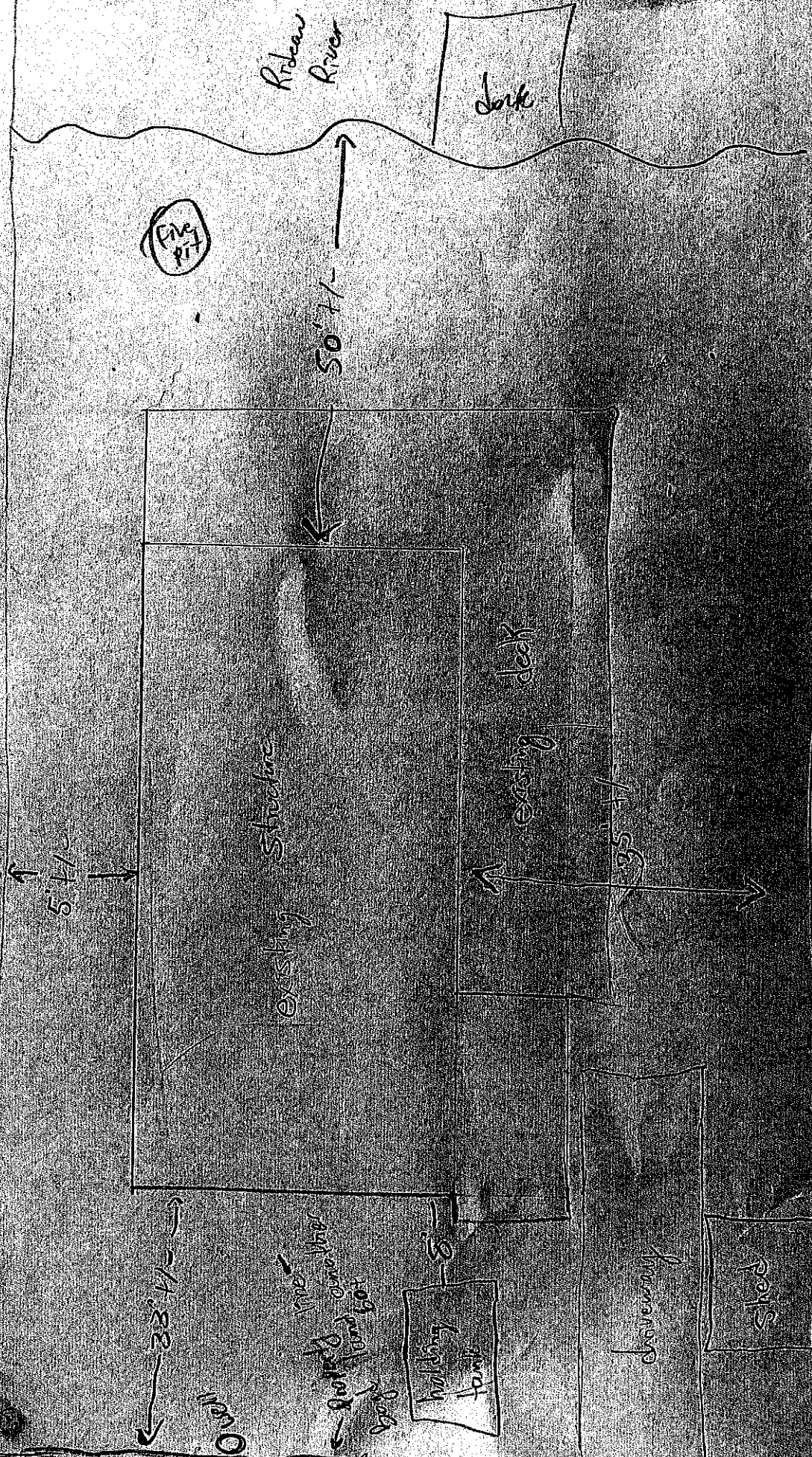
FREEDOM OF INFORMATION/ACCESS TO PROPERTY CONSENT OF OWNER

I, _____, being the registered owner of the lands subject of this application for minor variance, and for the purposes of the Freedom of Information and Protection of Privacy Act, hereby authorize and consent to the use by or the disclosure to any person or public body of any personal information that is collected under the authority of the Planning Act for the purposes of processing this application. I also authorize and consent to representatives of the Village of Merrickville-Wolford, and the persons and public bodies conferred with under Section 45 (5) of the Planning Act, entering upon the lands subject of this application for the purpose of conducting any site inspections as may be necessary to assist in the evaluation of this application.

Date

Owner's Signature

235 Boyd Landing Lane





VILLAGE OF MERRICKVILLE- WOLFORD

Notice of Public Hearing Application for Minor Variance File No. A-01-2021

Section 45(1) of the Planning Act, 1990

IN THE MATTER of an application for extension of legal non-complying use with respect to the following:

Name of Owner(s): Jeffrey & Catherine Swan
Location of Property: 235 Boyds Landing Lane N, Village of Merrickville-Wolford,
Part Lot 14 Concession A

TAKE NOTICE that an application under the above file number will be heard by the Committee of Adjustment on the date and time and at the location shown below:

Date and Time: Thursday, April 8, 2021 at 6:00 p.m.
Location: Merrickville Community Centre, 106 Read Street, Merrickville, ON

Purpose of Application:

The application requests relief from Merrickville-Wolford Zoning By-Law 23-08, as amended, to increase the size and height of an existing legal non-complying dwelling unit, and to allow for the existing deck to be covered and the roof over deck to be extended. Specifically, the request involves demolition of the existing roof system and existing bedroom addition, to allow for the extension and cover of the proposed roof over existing deck, adding 2 columns to support the extension, and increasing the height (from top of subfloor to U/S of roof framing) from approx. 6'10" to 8'1" in the proposed extension. The proposed project is within 30 m of the river, outside the floodplain, and would be no closer to the river than existing legal non-complying dwelling unit.

Official Plan (current and adopted): Rural & Special Heritage Policy
Area 1
Zoning: Limited Service Residential (LSR)

Additional information relating to the proposed minor variance is available for inspection on the Village Website at www.merrickville-wolford.ca or by email request to deputyclerk@merrickville-wolford.ca.

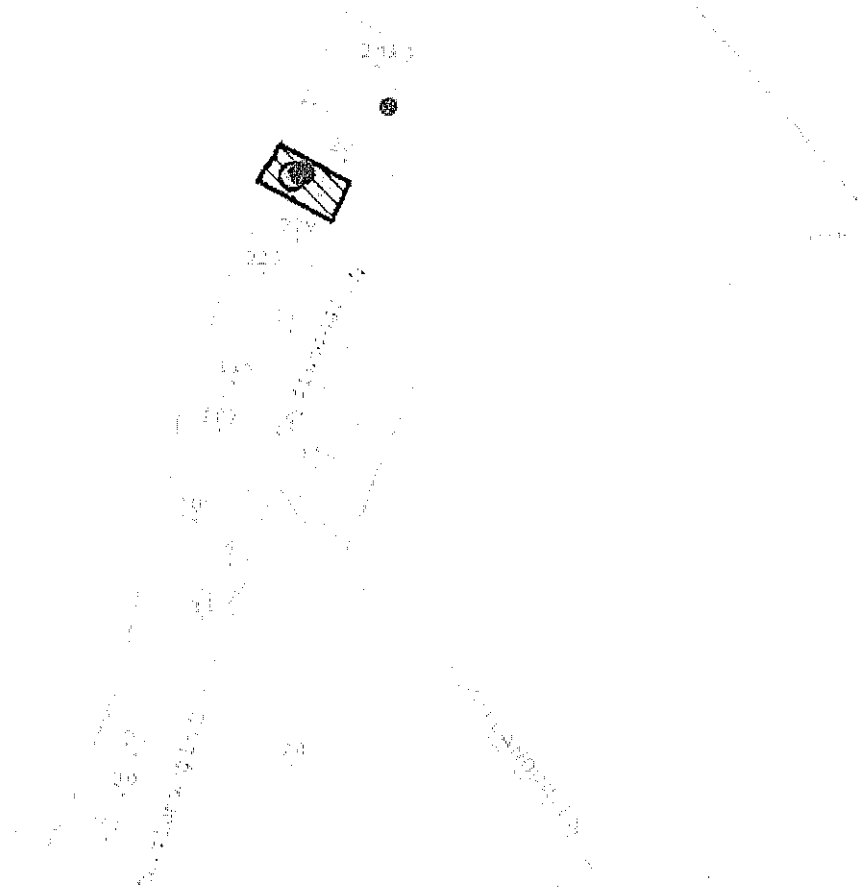
Any person may make written representation in support of or in opposition to the proposal. Written comments shall be submitted to the Clerk by mail to P.O. Box 340, Merrickville, K0G 1N0, or by email to deputyclerk@merrickville-wolford.ca no later than 4:30 p.m. on April 7, 2021. Please refer to file number above in all communications. Written submissions will be provided to the members of the Committee of Adjustment in advance of the meeting, if possible. The Clerk will verbally read out written deputations during the meeting at the time the application is considered. You are entitled to attend this public hearing in person.

If a person or public body that files an appeal of a decision of the Committee of Adjustment in respect of the proposed Minor Variance, does not make written submissions to the Committee of Adjustment before a decision is made, the Local Planning Appeal Tribunal may dismiss the appeal. If you wish to be notified of the decision of the Committee of Adjustment in respect to the proposed Minor Variance, you must make written request to the above address.

Dated this 23rd day of March 2021
Doug Robertson, CAO/Clerk

Key Map

235 Boyds Landing Lane N, Village of Merrickville-Wolford, Part Lot 14
Concession A outlined in red below.





Jp2g Consultants Inc.

ENGINEERS • PLANNERS • PROJECT MANAGERS

12 International Drive, Pembroke, ON, K8A 6W5
T 613-736-2507, F 613-735-4513, www.jp2g.com

March 25, 2021

Village of Merrickville-Wolford
317 Brock Street West
P.O. Box 340
Merrickville, ON K0G 1N0

Attention: Doug Robertson, CAO/Clerk

**Re: Planning Report: Minor Variance A-01-2021 (Swan)
235 Boyds Landing Lane N, Pt Lot 14, Concession A, Wolford
Village of Merrickville-Wolford
Our File No. 20-7059A**

Please accept the following Planning Report summarizing the nature and effect of the minor variance application before the Committee of Adjustment for 235 Boyds Landing Lane N. The Report also summarizes relevant planning policy and provides a professional planning opinion on the merits of the application.

Purpose and Effect

The purpose of the application is to seek relief from Merrickville-Wolford Zoning By-Law 23-08, as amended, to increase the size and height of an existing legal non-complying dwelling unit, and to allow for the existing deck to be covered and the roof over deck to be extended. Specifically, the request involves demolition of the existing roof system and existing bedroom addition, to allow for the extension and cover of the proposed roof over existing deck, adding 2 columns to support the extension, and increasing the height (from top of subfloor to U/S of roof framing) from approx. 6'10" to 8'1" in the proposed extension. The proposed project is within 30 m of the river, outside the floodplain, and would be no closer to the river than existing legal non-complying dwelling unit.

Description of Development

The applicant owns the waterfront subject property which is currently occupied by an existing single detached dwelling located approximately 50 feet (15 m) from the water's edge. The proposal is to remove the existing roof structure and replace it with a new roof which is approximately 1.2 feet higher than the existing roof. The new roof will be extended to cover the existing deck. The extension of the roof structure is no closer to the water's edge, although within 30 m of the river and therefore requires approval of the Committee of Adjustment.

Site and Surrounding Land Use

The subject property is located on the south side of the Rideau River, west of the Village of Merrickville and is typical of the lots along Boyds Landing Lane. The subject



property has 60 feet (18.3 m) of frontage on Boyds Landing and a depth of 100 feet (30.5 m) extending from Boyds Landing to the southern shore of the Rideau River, with an area of 6,000 ft² (557 m²). The property is occupied by a single detached dwelling that is serviced by private well and holding tank (Map 1).

The surrounding land use consists of similar size properties and structures and can be best described as a mature seasonal dwelling area with a mix of seasonal and year-round low-density waterfront residential development on private services.

Existing Official Plan and Zoning

The subject property is designated "Rural" in the Village of Merrickville-Wolford Official Plan (2006). This designation permits a limited range of residential development. Section 3.10.2 of the Official Plan sets out the policies for consideration of minor variance requests. The policies read:

- "1. Section 45 of the Planning Act concerns applications to the Committee of Adjustment. The Committee may authorize minor variances from the provisions of the Zoning By-law, provided the minor variance(s) is desirable for the appropriate development or use of the land building or structure, and provided the general intent and purpose of the Official Plan and Zoning By-law are maintained.
2. Where a minor variance is sought on a lot which is a waterfront lot, the minor variance generally should not further reduce a deficient waterbody setback. Further, the Committee may require, as a condition of granting the minor variance, that natural shorelines and native vegetation within the waterfront setback be re-established along those portions of the shoreline which are not used for marine facilities or access to the water."

The Village of Merrickville-Wolford Zoning By-law 23-08 zones the subject property Limited Services Residential (LSR) and Flood Plain (FP). The LSR zone permits single detached dwellings.

Generally, no development is currently or proposed to be within the Floodplain.

Comments

The RVCA has provided written comments of no objection but did request conditions on the approval that includes:

- Sediment and erosion controls between the construction area and the shoreline are to be installed prior to initiation of the work, to remain in place until the site has been allowed to regenerate and vegetation has been re-established to the satisfaction of the Township/Chief Building Official.



- Excavated materials will be disposed of well away from the lake, in excess of 30 metres.
- Roof runoff shall be collected and directed on-site and away from the lake to provide the greatest infiltration for surface runoff. Runoff should not be directly outlet towards the Rideau River.
- Regeneration of the waterfront/slope vegetative buffer with native hardy cover is important on this site. Native plant cover will help to stabilize the waterfront, protect against nutrient and sediment load to the lake and reduce costly maintenance over the long term. RVCA stewardship staff have visited this property in the past to recommend that native planting be undertaken over the frontage and particularly between the new dwelling and the lake. Allowance can be made for a modest pedestrian access path traversing this re-naturalization area to the water's edge. The applicant can contact the Shoreline Naturalization Program staff at 1-800-267-3504 to assist with the implementation of the planting plan, additional site plantings and stabilization work in upland areas to off-set the impacts addition to the Rideau River.
- Should any in-water or shoreline works or alterations be proposed, prior written approval from the Rideau Canal Office of Parks Canada is required.

The LLGDHU had no objection to the requested minor variance and noted that "based on the information available the proposed renovation would not result in a change to the Total Daily Design Flow for the septic system. The Leeds, Grenville and Lanark District Health Unit has no objection to granting the proposed Minor Variance.

No other comments were received at the writing of this report.

Planning Opinion – Four Test for Minor Variance

As expressed in the Village Official Plan, the Ontario Planning Act sets out four tests in the consideration of Minor Variance applications:

1. Does the development proposed maintain the general intent of the Official Plan?
2. Does the development proposed maintain the general intent of the Zoning By-law?
3. Is the variance desirable for the appropriate development or use of the land?
4. Is the variance requested minor?

The following is a review of these four tests against the requested increase in size and height of an existing legal non-complying dwelling unit, cover of deck and extension of roof over deck.



Test 1: Official Plan

The Village of Merrickville-Wolford clearly supports the residential use of the subject lands. Provided the minor variance application can satisfy the four tests, the proposed development is deemed to conform to the Official Plan.

The proposed Minor Variance maintains the general intent and purpose of the Village Official Plan.

Test 2: Zoning By-law

The Village of Merrickville-Wolford Zoning By-law 23-08 identifies the property as being zoned for seasonal dwelling house and single detached dwellings. The only provisions of the Zoning By-law not satisfied is the minimum lot area, minimum lot frontage and water setback. Section 3.6.5 of the Zoning By-law recognizes existing lots of record with less than the minimum lot area or frontage.

The intent of the 30 m setback is to encourage the protection of the water resources located throughout the Village. It is generally accepted that the redevelopment of existing non-complying buildings within the 30 m setback can proceed provided the development does not further encroach into the setback.

In the case of this development proposal, the change is quite modest with the construction of a new roof and is not encroaching further into the 30 m setback. In general, the proposed development maintains the intent and purpose of the Zoning By-law.

The proposed Minor Variance maintains the general intent and purpose of the Village Zoning By-law.

Test 3: Desirable for the Appropriate Development or Use of the Land

The residential use of the subject property is desirable. The ability to include conditions that promote the protection of the shoreline and the Rideau River, as proposed by the RVCA and Parks Canada result in a net environmental gain for the property. It is recommended that there be a condition that under no circumstances will the roofed deck be allowed to be fully enclosed as living space be included in the condition. The development is deemed desirable.

The proposed Minor Variance is desirable for the appropriate development of the subject land.

Test 4: Variance is Minor

The impact of replacing the existing roof structure which extends over the existing deck is seen to be minor. The development is not extended closer to the water.

The proposed Minor Variance is minor in terms of its impact.



For these reasons, it is my opinion that the proposed Minor Variance to increase size & height and permit the roof to be extended over the existing deck meets the four tests set out in the Planning Act and represents good land use planning.

Sincerely,

Jp2g Consultants Inc.

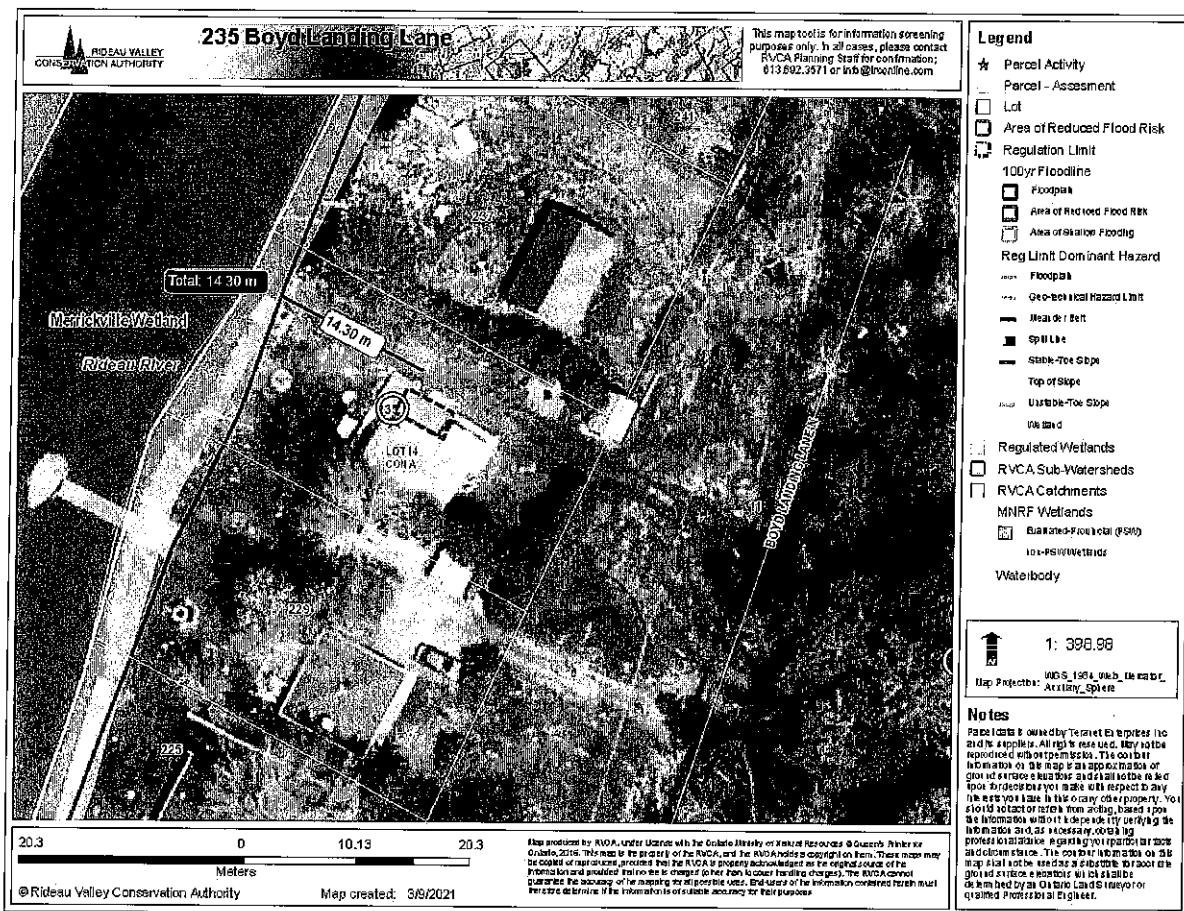
ENGINEERS • PLANNERS • PROJECT MANAGERS

Respectfully submitted:

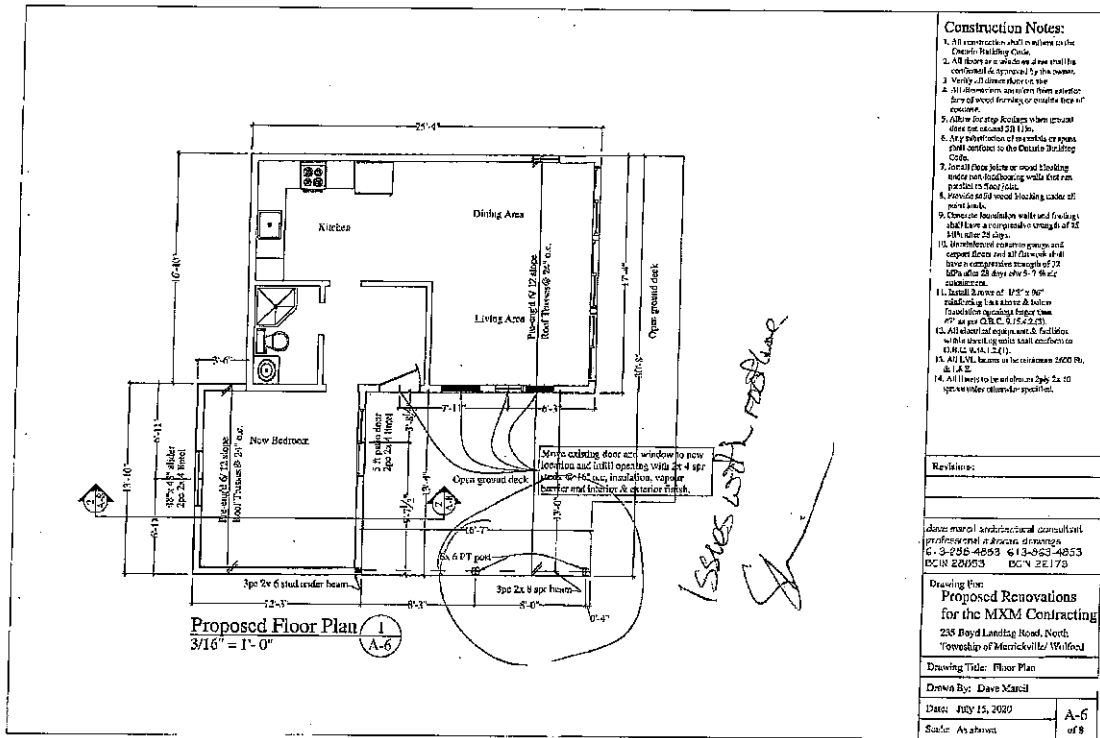
A handwritten signature in black ink, appearing to read 'F. Symon', is written over a horizontal line.

Forbes Symon, MCIP, RPP
Senior Planner

Map 1: Location of Subject Property



Map 2: Reconstruction Plan of Subject Property



Construction Notes:

1. All construction shall conform to the Ontario Building Code.
2. All floors are to be constructed in accordance with the Ontario Building Code.
3. Verify all dimensions on site.
4. All dimensions are taken from exterior face of wall framing or outside face of concrete.
5. Allow for step footings when ground does not exceed 20 Lbs.
6. Any relocation of masonry or space must conform to the Ontario Building Code.
7. For all floor joists or wood blocking under non-ditching walls that are parallel to floor joists.
8. Provide full wood blocking under all non-parallel walls.
9. Check the foundation walls and footings shall have a compressive strength of 22 MPa after 28 days at 5-7 °C of construction.
10. Reinforcement within concrete and concrete floor and all bar work shall have a compressive strength of 22 MPa after 28 days at 5-7 °C of construction.
11. Install 2x4x8 "PT" or "N" blocking (as above) & below foundation openings for a time 4" as per O.B.C. 9.15.2.2.3.
12. All electrical equipment & facilities within building shall conform to O.B.C. 6.1.2.1.1.
13. All LVL beams to be minimum 2600 Pn, 4x12.
14. All lines to be within 2x4x10 space unless otherwise specified.

Revisions:

done: marcel architectural consultant
professional architect drawings
G-3-205-4853 613-963-4853
DCN 22053 DCN 22170

Drawing For:
**Proposed Renovations
for the MXM Contracting**
235 Boyd Landing Road, North
Township of Merrickville/Welland

Drawing Title: Floor Plan

Drawn By: Dave Macil

Date: July 15, 2020

Scale: As shown

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of 8



Development Review Team

March 11, 2021
21-MWO-MVA-0007

Village of Merrickville-Wolford
P.O. Box 340
317 Brock Street W,
Merrickville, Ontario
K0G 1N0

Attention: Stacie Lloyd

Subject: Jeff Swan (Owner) & Travis MacEachern (Agent)
Part Lot 14 Concession A
Geographic Township Wolford
Merrickville, ON
(Civic Address: 235 Boyd Landing Land)

Dear Ms. Lloyd,

The Rideau Waterway Development Review Team (RWDRT) has reviewed the noted application on behalf of the Rideau Valley Conservation Authority within the context of:

- Section 2.1 Natural Heritage and 3.1 Natural Hazards of the Provincial Policy Statement (2020) under Section 3 of the Planning Act.
- Rideau Valley Conservation Authority regulations under Section 28 of the Conservation Authorities Act,
- The 2014 Rideau Lakes Subwatershed Report,
- the considerations for waterfront setbacks and best management practices derived from the "Rideau Lakes Study" and the associated "municipal Site Evaluation Guidelines (updated 2015).

and on behalf of Parks Canada-Rideau Canal Office within the context of:

- Federal Species at Risk Act and Impact Assessment Act,
- Federal Policy on Wetland Conservation,
- Historic Canals Regulations,
- Waterway Navigation,
- Natural and Cultural Resources,
- Federal Crown ownership,
- The National Historic Site and UNESCO World Heritage designations of the Rideau Canal.

The Proposal

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The applicant seeks approval to extend the roof to cover and enclose an existing deck. The variances requested is:

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Parks Canada-Rideau Canal | Rideau Valley Conservation Authority | Cataraqui Region Conservation Authority
613-283-7199 613-692-3571 613-546-4228

- Section 3.27.2.1 of the Village of Merrickville-Wolford Zoning By-law 23-08, as amended, Relief of 15m from the required 30m water setback to allow for a 15m water setback for the proposed enclosed deck.

The Property

The property is approximately 0.17 acres in size and located on the Rideau River. There is approximately 21 metres of shoreline and the lot is approximately 31 metres deep from the highwater mark of the river to the rear lot line. The entire property is within the 120 metre adjacent lands to the Merrickville Marsh, which is along the Rideau River. The property is treed along the southern lot line and along the eastern road frontage. The remaining property is lawn and driveway.

RVCA Comments and Recommendations

Preservation of this minimum setback within which disturbance is restricted has been a common ideal in place to protect lakes, rivers and wetlands over the long term. Maintenance of water setbacks act to offset the intensification of use of the property expected with greater and more frequent use of the site. Over the long term, more use and more development will continue to apply greater impact (sediment, nutrient loading) to Rideau River. Therefore, we encourage development and redevelopment to respect this setback consideration in keeping with the Township's minimum requirements to help protect the Rideau River. The RVCA and Parks Canada encourage conformity with and compliance to the Official Plan and Zoning By-law where possible in such development proposals.

RVCA does not object to the approval of the minor variance as presented. There is no further encroachment towards the Rideau River as the covered and enclosed area will be in line with the existing dwelling and no closer to the water. This application is considered minor in nature. We recommend the following best management practices be incorporated into the development plan to protect the Rideau River. These matters are to be incorporated into the approval as may be granted:

- Sediment and erosion controls between the construction area and the shoreline are to be installed prior to initiation of the work, to remain in place until the site has been allowed to regenerate and vegetation has been re-established to the satisfaction of the Township/Chief Building Official.
- Excavated materials will be disposed of well away from the lake, in excess of 30 metres.
- Roof runoff shall be collected and directed on-site and away from the lake to provide the greatest infiltration for surface runoff. Runoff should not be directly outlet towards the Rideau River.
- Regeneration of the waterfront/slope vegetative buffer with native hardy cover is important on this site. Native plant cover will help to stabilize the waterfront, protect against nutrient and sediment load to the lake and reduce costly maintenance over the long term. RVCA stewardship staff have visited this property in the past to recommend

11

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Parks Canada-Rideau Canal | Rideau Valley Conservation Authority | Cataraqui Region Conservation Authority
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that native planting be undertaken over the frontage and particularly between the new dwelling and the lake. Allowance can be made for a modest pedestrian access path traversing this re-naturalization area to the water's edge. The applicant can contact the Shoreline Naturalization Program staff at 1-800-267-3504 to assist with the implementation of the planting plan, additional site plantings and stabilization work in upland areas to off-set the impacts addition to the Rideau River.

Parks Canada Comments and Recommendation

The Rideau Canal National Historic Site of Canada, Canadian Heritage River and UNESCO World Heritage Site is administered by Parks Canada to preserve the cultural, natural and scenic values so that all Canadians can enjoy this legacy into the future. All parties have a responsibility to ensure the stewardship and conservation of this internationally recognized waterway. This can be achieved in part by conserving natural shorelines, retaining and enhancing native vegetation within the 30 metre buffer zone, and developing the property in a manner that complements the visual character of the landscape. While not a part of the Rideau Canal itself, the 30 metre buffer is intended to provide an additional layer of protection.

For any new buildings or structures situated within the 30 metre buffer, the use of building materials and colours that blend in with the surrounding landscape are encouraged. Earth tones and neutral colours are recommended for the finished exterior of the dwelling. Reflective materials, such as galvanized and bare metals, particularly for roof coverings and support structures, are discouraged.

The Parks Canada Rideau Canal Office is an approval authority for in-water and shoreline works along the waterway. If the landowner wishes to carry out any new in-water and shoreline works including but not limited to docks, decks, boathouses, launch ramps, beaches, dredging and shoreline stabilization devices, the Rideau Canal Office must be contacted. Written approval must be obtained prior to the commencement of construction. Work must adhere to the Rideau Canal's *Policies for In-water and Shoreline Works and Related Activities*. Parks Canada/Rideau Canal permitting staff can be reached by contacting Debbie Farmer, A/ Real Property Officer, Ontario Waterways (Debbie.Farmer@Canada.ca , Tel: 705-750-4923).

Should the Township support the proposed development, Parks Canada requests inclusion of the following recommendation for conditions in the site plan control agreement:

- Should any in-water or shoreline works or alterations be proposed, prior written approval from the Rideau Canal Office of Parks Canada is required.

Conclusion and Recommendations

In conclusion, the RVCA and Parks Canada-Rideau Canal Office do not object to the approval of the minor variance as presented.

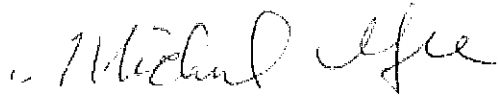
Thank you for the opportunity to comment. Please do not hesitate to contact the undersigned should you have any questions.

Please advise the RVCA and Rideau Canal Office on the committee's decision regarding this

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application or of any changes in its status.

Yours truly,



Michael Yee
Environmental Planner & Biologist, RVCA
613-692-3571 X 1176

Cc - Jeff Swan (Owner)
 - Travis MacEachern (Agent)
 - Forbes Symon – MW Planner
 - Parks Canada – Susan Millar
 - Emma Bennett, RVCA and Matt Jokiel, RVCA
 - Meaghan McDonald, RVCA

Christina Conklin

From: MacNeil, Ben <Ben.MacNeil@healthunit.org>
Sent: Tuesday, March 30, 2021 1:58 PM
To: Economic Development Officer
Subject: RE: Merrickville-Wolford Minor Variance Hearing April 8/21 - 4 applications
Attachments: image001.jpg

Hello Stacie,

Please find comments below for the upcoming Committee of Adjustment meeting.

A-01-2021: Based on the information available the proposed renovation would not result in a change to the Total Daily Design Flow for the septic system. The Leeds, Grenville and Lanark District Health Unit has no objection to granting the proposed Minor Variance.

A-03-2021: Based on the information available the proposed renovation will not result in a change to the Total Daily Design flow for the septic system. The Leeds, Grenville and Lanark District Health Unit has no objection to granting the proposed Minor Variance.

A-04-2021: This lot appears to be on Municipal services. The Leeds, Grenville and Lanark District Health Unit has no objection to granting the proposed Minor Variance.

A-05-2021: Based on the information available the proposed renovation will not result in a change to the Total Daily Design flow for the septic system. The Leeds, Grenville and Lanark District Health Unit has no objection to granting the proposed Minor Variance.

Regards,

Ben MacNeil
Public Health Inspector
Leeds, Grenville and Lanark District Health Unit.
613-345-5685

Sent from my Galaxy

----- Original message -----

From: Economic Development Officer <edo@merrickville-wolford.ca>
Date: 2021-03-24 12:43 PM (GMT-05:00)
To: "Carpenter, Nancy" <Nancy.Carpenter@healthunit.org>, "MacNeil, Ben" <Ben.MacNeil@healthunit.org>
Subject: FW: Merrickville-Wolford Minor Variance Hearing April 8/21 - 4 applications

Hi Nancy/Ben,

We have a few upcoming Minor Variance Applications scheduled for Committee of Adjustment Hearing on Apr 8 at 6 pm in Merrickville – Hearing Notices are attached, which provide a description of the proposed projects. I will send you all documents related to the minor variances (applications, drawings, site plan sketch, etc) with request for the health unit to provide comments where relevant.

File # A-01-2021 (SWAN) – 235 Boyds Landing Lane * File # A-03-2021 (DEY/FEENSTRA) – 330 Broadway St West * File # A-04-2021 (CARD) – 323 St Lawrence St File # A-05-2021 (HUESTIS) – 317 Main St East *

*We are expecting reports from RVCA on these ones this week, let me know if you would like me to send you a copy of the report.

Is it possible to receive your comments by March 30?

Many thanks, if you'd like to discuss, today I am at 613-324-5387, and tomorrow & Friday at the number below.

Stacie

Stacie Lloyd
Economic Development Officer

Village of Merrickville-Wolford
317 Brock St W, Box 340
Merrickville ON K0G 1N0
Phone (613) 269-4791 Ext 242
edo@merrickville-wolford.ca<mailto:edo@merrickville-wolford.ca>

[MWlogocol-1 - very small]

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		Date Req'd
Information Purposes		
Policy / Action Req'd		
Strategic Plan		

STAFF REPORT TO Committee of Adjustment Merrickville-Wolford

April 8, 2021

From: Shawn Merriman

RE: Building Department Insight re: Construction issues 235 Boyd's Landing A-01-2021

Recommendation: Report for information purposes only and consideration by the members of the Committee of Adjustment.

Issue 1: Reminder that the building department can confirm that construction has started on this property but only in relation to what is allowed without requesting a decision. Thus, this is not a case of the proponent asking for forgiveness after the fact as sometimes occurs but the desire to quickly get the existing structure lifted up and on a proper foundation which has had no affect on increasing use or capability of the existing structure.

Issue 2: The building department can confirm that this is the most efficient and practical way to construct on the site without increasing the area already affected and is most practical in terms of squaring off the building and making it useful.

Issue 3: The Building department in relation to the conservation request of condition on the native vegetative strip. As per currently worded this is unenforceable therefore the committee should set some minimum conditions such as 3 metres wide by X % of the frontage. Or the committee should not make the vegetative strip a condition but a recommendation only.

Application proponents note: Please note that the department found the applicants to be polite and understanding about their issues in relation to this lot. When informed of a need for a minor variance they quickly and efficiently submitted an application and were polite and interested in doing things the correct way. This department has no concerns about any conditions applied in allowing this project to commence in being carried out. Hence no request for additional fees of deposit as a condition of the decision.

		Date Req'd
Information Purposes		
Policy / Action Req'd		
Strategic Plan		

Conditions asked to be considered: Specific to Issue number 3 that either it be a recommendation or that it have some specific minimums.

Shawn Merriman CBCO, RASDT, WETT
Building Official Merrickville-Wolford



235 Boyd Landing Lane



Legend

- ★ Parcel Activity
- Parcel - Assessment
- Lot
- Area of Reduced Flood Risk
- Regulation Limit
- 100yr Floodline
- Floodplain
- Area of Reduced Flood Risk
- Area of Shallow Flooding
- Reg Limit Dominant Hazard
- Floodplain
- Geo-technical Hazard Limit
- Meander Belt
- Spill Line
- Stable-Toe Slope
- Top of Slope
- Unstable-Toe Slope
- Wetland
- Regulated Wetlands
- RVCA Sub-Watersheds
- RVCA Catchments
- ANSI
- MNRF Wetlands
- Evaluated-Provincial (PSW)
- non-PSW Wetlands
- Waterbody

Notes

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20.3 0 10.13 20.3

Meters

© Rideau Valley Conservation Authority

Map created: 3/5/2021

1: 398.98



WGS_1984_Web_Mercator_ Auxiliary_Sphere

Construction Notes:

1. All construction shall conform to the Ontario Building Code.
2. All doors and windows shall be confirmed & approved by the owner.
3. Verify all dimensions on site.
4. All dimensions are taken from exterior face of wood framing or outside face of concrete.
5. Allow for step footings when ground does not exceed 36" 1 in.
6. Any substitution of materials or sizes shall conform to the Ontario Building Code.
7. Install floor joists or wood blocking under non-loadbearing walls that run parallel to floor joist.
8. Provide solid wood blocking under all point loads.
9. Concrete foundation walls and footings shall have a compressive strength of 15 MPa after 28 days.
10. Unreinforced concrete garage and carport floors and all flatwork shall have a compressive strength of 32 MPa after 28 days c/w 5-7 % air entrainment.
11. Install 2 rows of 1/2" x 96" reinforcing bars above & below foundation openings larger than 47" as per O.B.C. 9.15.4.2.(3).
12. All electrical equipment & facilities within dwelling units shall conform to O.B.C. 9.34.1.2.(1).
13. All LVL beams to be minimum 2600 Fb, & 1.8 E.
14. All linels to be minimum 2ply 2x 10 space unless otherwise specified.

Revisions:

dave marcel architectural consultant
professional autocad drawings
613-256-4853 613-863-4853
BCIN 28853 BCIN 22173

Drawing For:
**Proposed Renovations
for the MXM Contracting**
235 Boyd Landing Road, North
Township of Merrickville/ Wolford

Drawing Title: Floor Plan

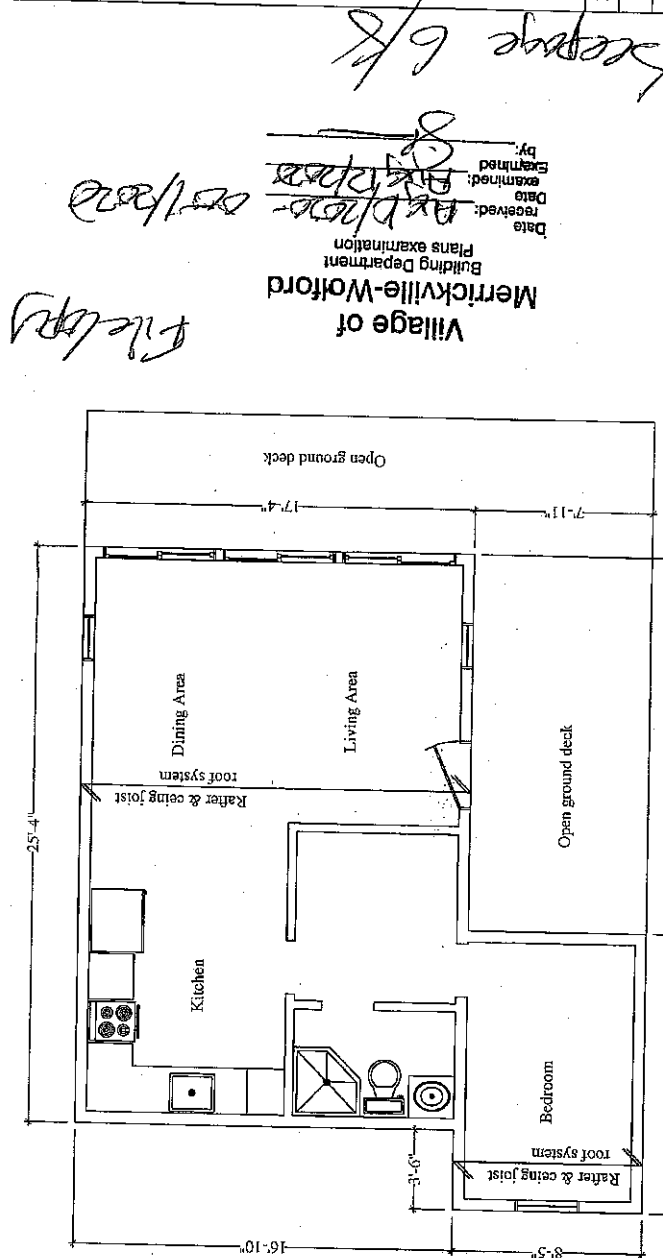
Drawn By: Dave Marcel

Date: July 15, 2020

Scale: As shown

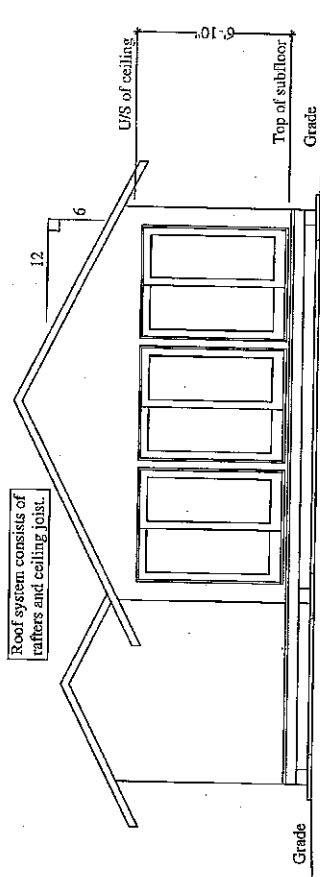
A-1

of 8

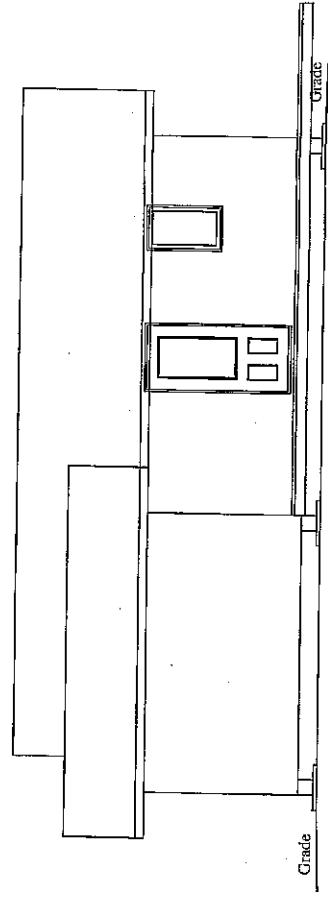


Existing Floor Plan 1
3/16" = 1'-0"
A-1

File copy
**Village of
Merrickville-Wolford**
Building Department
Plans examination
Date received: *6/24/2020*
Date examined: *6/24/2020*
By: *[Signature]*
Seepage 6/8



Existing North Elevation
 3/16" = 1'-0"
 1
 A-2



Existing East Elevation
 3/16" = 1'-0"
 2
 A-2

Construction Notes:

1. All construction shall conform to the Ontario Building Code.
2. All doors and windows sizes shall be confirmed & approved by the owner.
3. Verify all dimensions on site.
4. All dimensions are taken from exterior face of wood framing or outside face of concrete.
5. Allow for step footings when ground does not exceed 3ft 11in.
6. Any substitution of materials or spans shall conform to the Ontario Building Code.
7. Install floor joists or wood blocking between floor joists that run parallel to floor plate.
8. Provide solid wood blocking under all joist ends.
9. Concrete foundation walls and footings shall have a compressive strength of 15 MPa after 28 days.
10. Unreinforced concrete garage and support floors and all flatwork shall have a compressive strength of 32 MPa after 28 days or 5-7 % air entrainment.
11. Install 2 rows of 1/2" x 96" reinforcing bars above & below foundation walls. Bars shall be 47" as per O.B.C. 9.15.12.3.
12. All electrical conduit & facilities within dwelling unit shall conform to O.B.C. 9.34.1.2 (1).
13. All LVL beams to be minimum 2600 Pk. & 1.8 E.
14. All finish to be minimum 2ply 2x 10 species unless otherwise specified.

Revisions:

dave marcel architectural consultant
 professional autocad drawings
 613-250-4653 613-863-4053
 BCIN 28853 BCIN 22173

Drawing For:
Proposed Renovations
for the MXM Contracting
 235 Boyd Landing Road, North
 Township of Merrickville/Wolford

Drawing Title: Elevations

Drawn By: Dave Marcel

Date: July 15, 2020

Scale: As shown

A-2
 of 8

Construction Notes:

1. All construction shall conform to the Ontario Building Code.
2. All doors and windows shall be confirmed & approved by the owner.
3. Verify all dimensions on site.
4. All dimensions are taken from exterior face of wood framing on outside face of concrete.
5. Allow for step footings when ground does not exceed 5ft 11in.
6. Any substitution of materials or spans shall conform to the Ontario Building Code.
7. Install floor joists or wood blocking under non-bearing walls that run parallel to floor joist.
8. Provide solid wood blocking under all point loads.
9. Concrete foundation walls and footings shall have a compressive strength of 15 MPa after 28 days.
10. Unreinforced concrete garage and carport floors and all flatwork shall have a compressive strength of 32 MPa after 28 days c/w 5-7 % air entrainment.
11. Install 2 rows of 1/2" x 96" reinforcing bars above & below foundation openings larger than 47" as per O.B.C. 9.15.4.2(3).
12. All electrical equipment & facilities within dwelling units shall conform to O.B.C. 9.34.1.2.(1).
13. All LVL beams to be minimum 2600 Fb, & 1.8 E.
14. All timbers to be minimum 2ply 2x 10 space unless otherwise specified.

Revisions:

dave marcel architectural consultant
professional autocad drawings
613-258-4853 613-863-4853
BCIN 28853 BCIN 22173

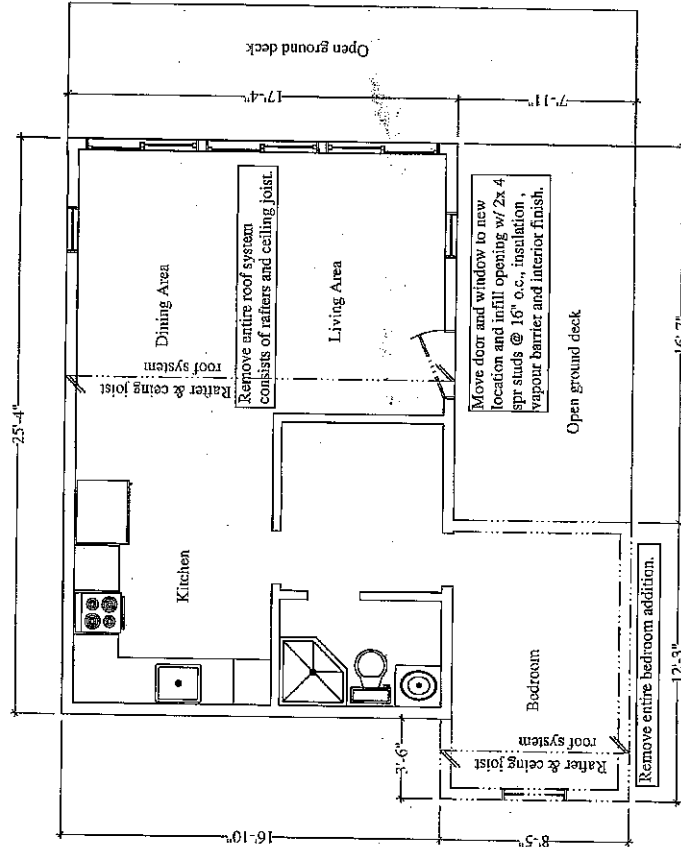
Drawing For:
**Proposed Renovations
for the MXM Contracting**
235 Boyd Landing Road, North
Township of Merrickville/ Wolford

Drawing Title: Floor Plan

Drawn By: Dave Marcel

Date: **July 25, 2020**
Scale: As shown

A-3
of 8



Demolition to consist of removing entire rafter ceiling joist system and demolish existing bedroom addition.

Demolition Floor Plan 1
3/16" = 1'-0" A-3

Construction Notes:

1. All construction shall conform to the Ontario Building Code.
2. All doors and windows sizes shall be confirmed & approved by the owner.
3. Verify all dimensions on site.
4. All dimensions are taken from exterior face of wood framing or outside face of concrete.
5. Allow for step footings when ground does not exceed 3 ft 1 in.
6. Any attachment of materials or spans shall conform to the Ontario Building Code.
7. Install floor joists or wood blocking under new subflooring walls that run parallel to floor joist.
8. Provide full wood blocking under all point loads.
9. Concrete foundation walls and footings shall have a compressive strength of 15 MPa after 28 days.
10. Unreinforced concrete garage and compact floors and all flatwork shall have a compressive strength of 32 MPa after 28 days or 5-7 % air entrainment.
11. Install 7 rows of 1/2" x 96" reinforcing bars above & below foundation openings less than 47" as per O.B.C. 9.15.4.2 (3).
12. All electrical equipment & utilities within dwelling units shall conform to O.B.C. 9.34.1.2 (1).
13. All LVL beams to be minimum 2600 Pp, & 1.8 R.
14. All finishes to be minimum 2ply 2x 10 spruce unless otherwise specified.

Revisions:

dave marcell architectural consultant
Professional autocad drawings
613-258-4853 613-863-4853
BCIN 22853 BCIN 22173

Drawing For:
**Proposed Renovations
for the MXM Contracting**
235 Boyd Landing Road, North
Township of Merrickville/Wolford

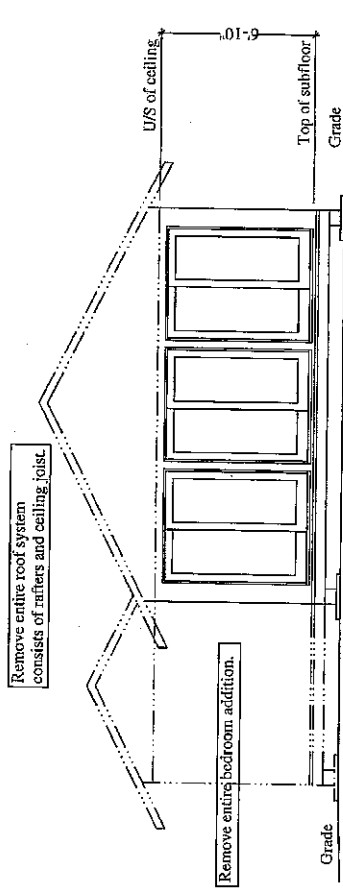
Drawing Title: Elevations

Drawn By: Dave Marcell

Date: July 15, 2020

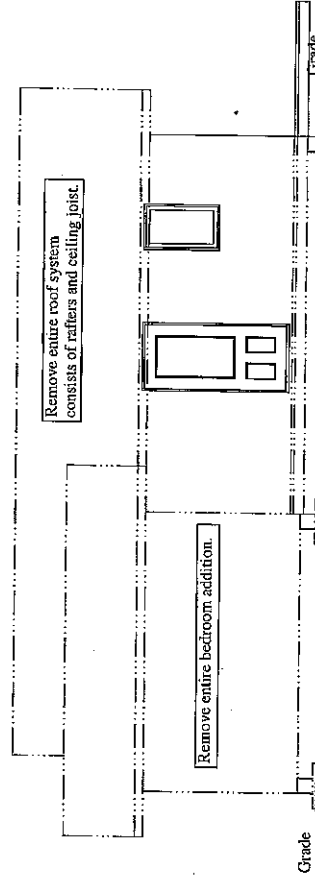
Scale: As shown

A-4
of 8



1.
Demolition North Elevation
3/16" = 1'-0"

A-4



2.
Demolition East Elevation
3/16" = 1'-0"

A-4



of 8

Construction Notes:

1. All construction shall conform to the Ontario Building Code.
2. All doors and windows sizes shall be confirmed & approved by the owner.
3. Verify all dimensions on site.
4. All dimensions are taken from exterior face of wood framing or outside face of concrete.
5. Allow for step footings when ground does not exceed 3ft 11in.
6. Any substitution of materials or spans shall conform to the Ontario Building Code.
7. Install floor joists or wood blocking under new subflooring walls that run parallel to floor joist.
8. Provide solid wood blocking under all point loads.
9. Concrete foundation walls and footings shall have a compressive strength of 15 MPa after 28 days.
10. Unreinforced concrete garage and carport floors and all floorwork shall have a compressive strength of 32 MPa after 28 days c/w 5-7% air entrainment.
11. Install 2 rows of 1/2" x 96" reinforcing bars above & below foundation creating larger than 47" up per O.B.C. 9.1.5.4.2 (3).
12. All electrical equipment & facilities within dwelling units shall conform to O.B.C. 9.34.1.2 (1).
13. All LVL beams to be minimum 2600 Fb, & 1.5 E.
14. All linings to be minimum 2ply 2x 10 spruce unless otherwise specified.

Revisions:

dave marcel architectural consultant
professional autocad drawings
G13-256-4853 G13-863-4853
BCIN 20053 BCIN 22173

Drawing For:
**Proposed Renovations
for the MXM Contracting**
235 Boyd Landing Road, North
Township of Merrickville Wolford

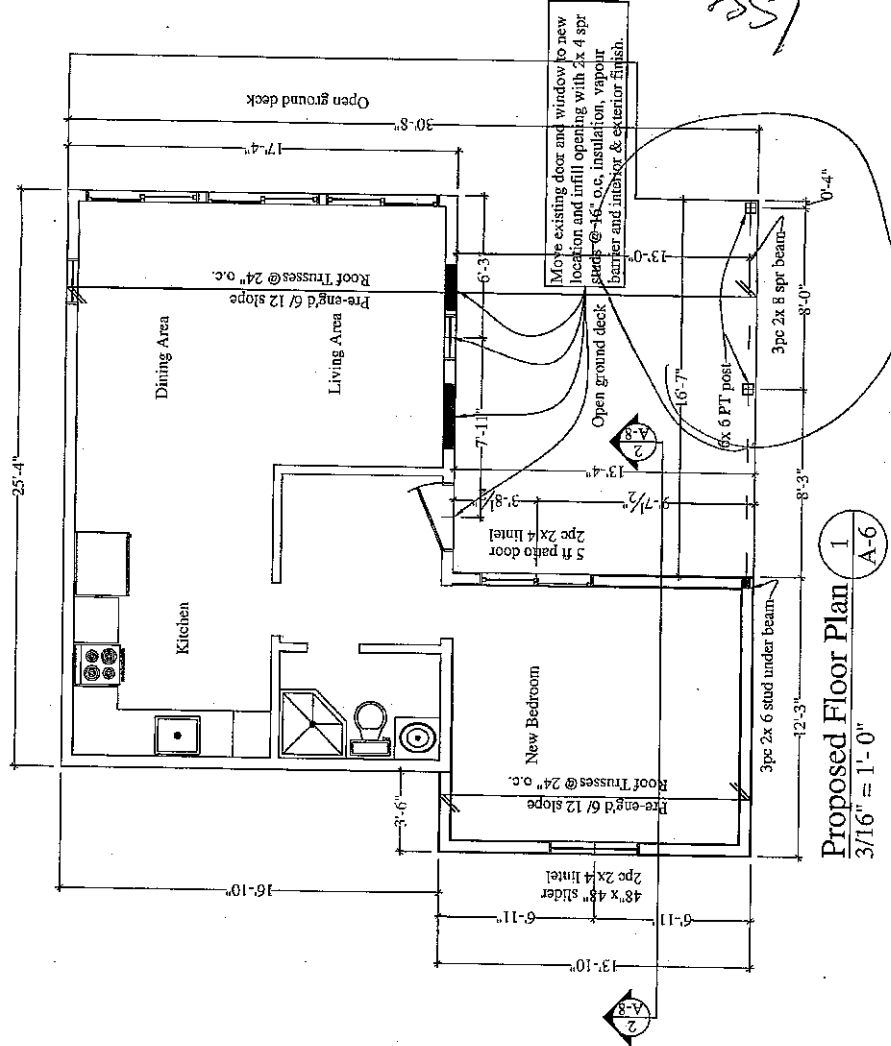
Drawing Title: Floor Plan

Drawn By: Dave Marcel

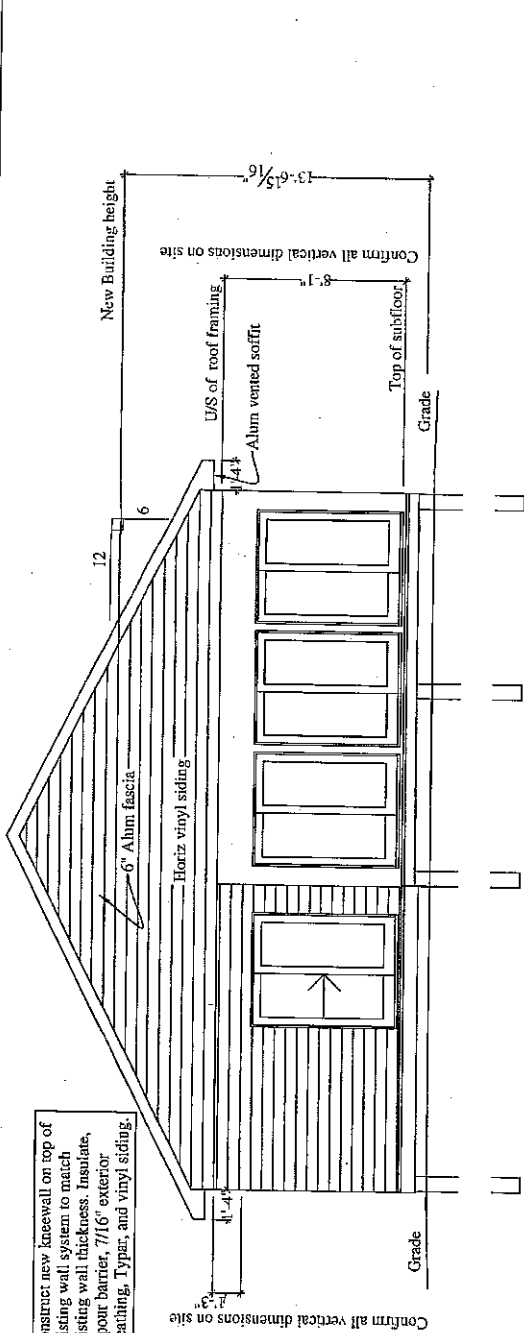
Date: July 15, 2020

Scale: As shown

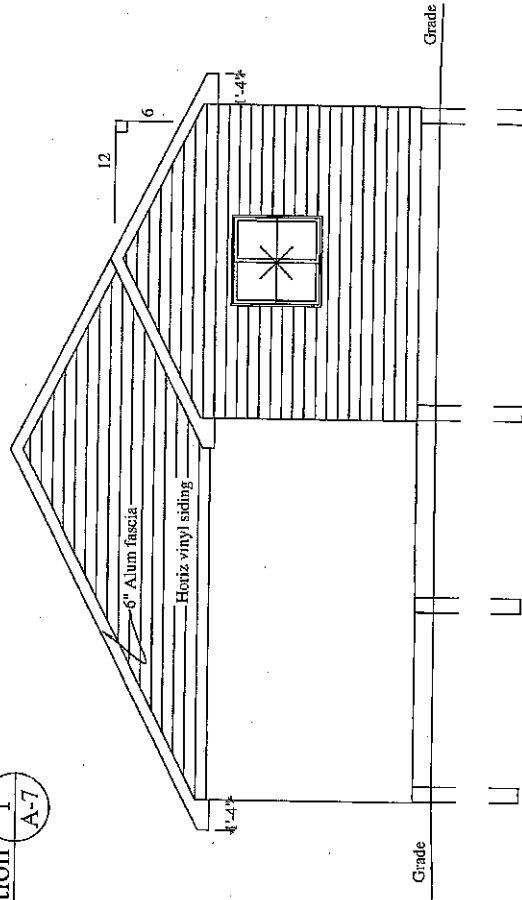
A-6
of 8



Construct new kneewall on top of existing wall system to match existing wall thickness. Insulate, vapour barrier, 7/16" exterior sheathing, Tygar, and vinyl siding.



Proposed North Elevation 1
3/16" = 1'-0" A-7



Proposed South Elevation 2
3/16" = 1'-0" A-7

Construction Notes:

1. All construction shall conform to the Ontario Building Code.
2. All doors and windows sizes shall be confirmed & approved by the owner.
3. Verify all dimensions on site.
4. All dimensions are taken from exterior face of wood framing or outside face of concrete.
5. Allow for step footings when ground does not exceed 5ft. 1 in.
6. Any substitution of materials or spans shall conform to the Ontario Building Code.
7. Install floor joists or wood blocking under subflooring walls that run parallel to floor joist.
8. Provide solid wood blocking under all point loads.
9. Concrete foundation walls and footings shall have a compressive strength of 13 MPa after 28 days.
10. Unreinforced concrete garage and carport floors and all floors shall have a compressive strength of 32 MPa after 28 days & 5-7 % air entrainment.
11. Install 2 rows of 1/2" x 96" reinforcing bars above & below foundation openings larger than 47" as per O.B.C. 9.15.4.2 (3).
12. All electrical equipment & facilities within dwelling units shall conform to O.B.C. 9.34.1.2 (1).
13. All LVL beams to be minimum 2600 Fb, & 1.8 E.
14. All linets to be minimum 240 2x 10 spruce linets otherwise specified.

Revisions:

dave marcel architectural consultant
Professional autocad drawings
613-259-4953 613-863-4953
BCIN 20053 BCIN 22173

Drawing For:
**Proposed Renovations
for the MXM Contracting**

235 Boyd Landing Road, North
Township of Merrickville/Wolford

Drawing Title: Elevations

Drawn By: Dave Marcel

Date: July 15, 2020

Scale: As shown

A-7
of 8

Construction Notes:

1. All construction shall conform to the Ontario Building Code.
2. All doors and windows sizes shall be confirmed & approved by the owner.
3. Verify all dimensions are taken from exterior face of wood framing or outside face of concrete.
4. All dimensions are taken from exterior face of wood framing or outside face of concrete.
5. Allow for step footings when ground does not exceed 38' Lin.
6. Any substitution of materials or spans shall conform to the Ontario Building Code.
7. Install floor joists or wood blocking under non-loadbearing walls that run parallel to floor joist.
8. Provide solid wood blocking under all point loads.
9. Concrete foundation walls and footings shall have a compressive strength of 15 MPa after 28 days.
10. Unreinforced concrete garage and carport floors and all flatwork shall have a compressive strength of 32 MPa after 28 days of 5'-7' air entrainment.
11. Install 2 rows of 1/2" x 95" reinforcing bars above & below foundation openings larger than 47" as per O.B.C. 9.13.4.2(3).
12. All electrical equipment & facilities within dwelling units shall conform to O.B.C. 9.34.1.2(1).
13. All LVL beams to be minimum 2600 Fb & 1.8 E.
14. All linings to be minimum 2ply 2x 10 spruce unles otherwise specified.

Revisions:

dave marcl architectural consultant
professional autocad drawings
G13-258-4853 G13-563-4853
BCIN 20893 BCIN 22173

Drawing For:
**Proposed Renovations
for the MXM Contracting**
235 Boyd Landing Road, North
Township of Merrickville/ Wolford

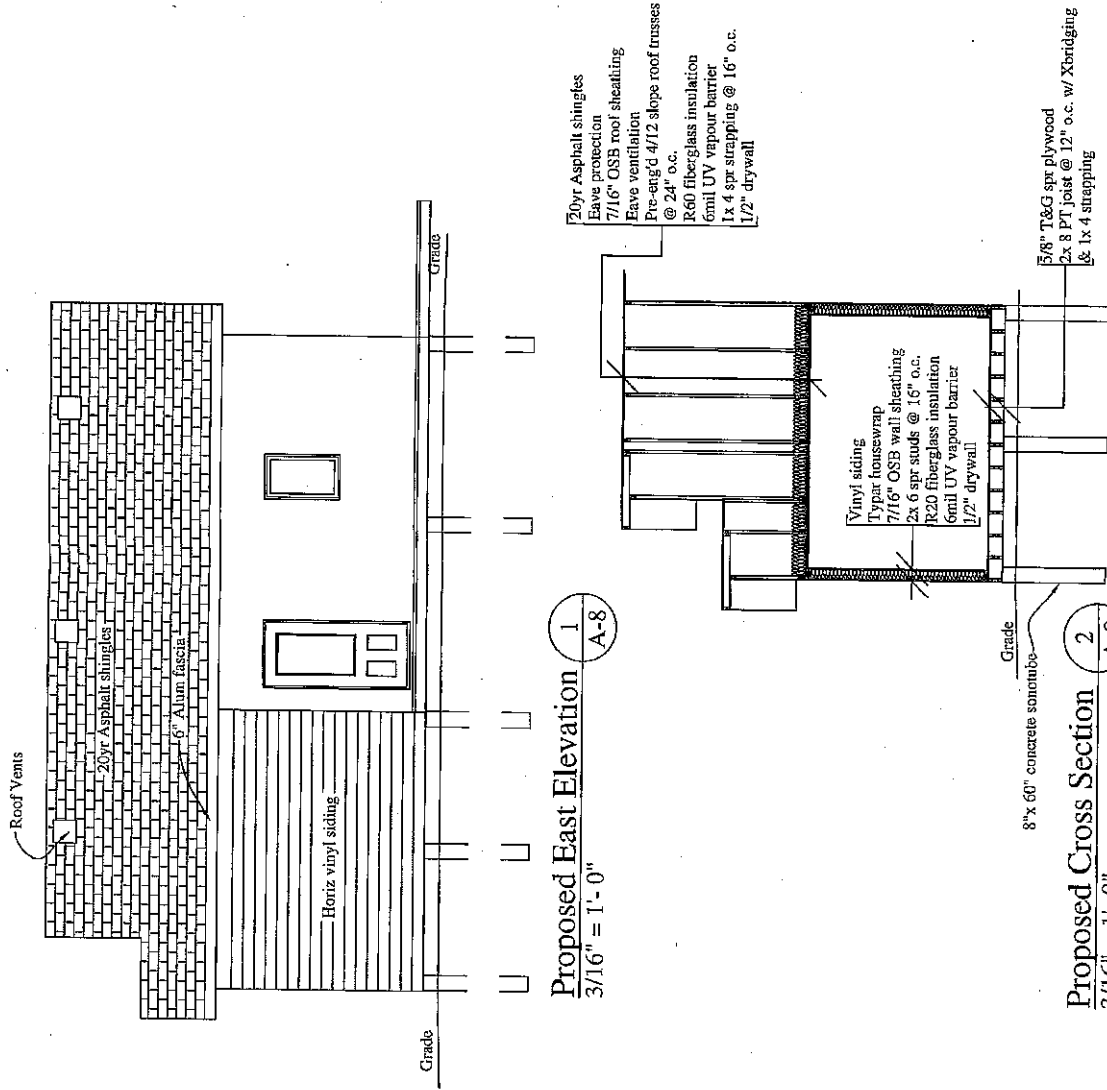
Drawing Title: Elevations

Drawn By: Dave Marcl

Date: July 15, 2020

Scale: As shown

A-8
of 8



A-03-2021

Established 1793

Telephone (613) 269-4791

Incorporated

Facsimile (613) 269-3095

Wolford 1850

Merrickville 1860

Amalgamated 1998

THE CORPORATION OF THE VILLAGE OF MERRICKVILLE-WOLFORD Application for Minor Variance or Permission

FOR OFFICE USE ONLY

Date the Application was Received by the
Village _____

1. Property Owner's Name:		Carolyn Day + Larry Feenstra	
Address:		330 West Broadway	
Postal Code:		K0B 1N0	
e-mail:			
Telephone:	Home:	Work:	
	Cel:	Fax:	
2. Applicant/Agent Name:		Carolyn Day	
Address if different from Owner:			
Postal Code:			
e-mail:			
Telephone:	Home:	Work:	
	Cell:	Fax:	
3. Name and address of any mortgages, holders of charges or other encumbrances of the subject lands:			
N/A			
4. Legal Description of Property: Former Municipality			
Lot(s):		Concession:	
Plan 6 PT Lot TT			
Lot(s):		Registered Plan:	
1800 1.12 AC			
Part(s):		Reference Plan:	
365.00 FT 267.00 FT			
Street Address:		Survey Attached: Yes (No)	
330 Broadway West			
Roll Number:			
07 14 714 01031100 0000			
5. Are there any easements or restrictive covenants affecting the subject property? Yes / No			
(No)			
6. If yes, please describe the easement or covenant:			
7. Dimensions of lands affected:			
Frontage:		365' waterfront	
Depth:		240'	
Area:		1.12 ac	
Width of Street:			

8. Nature & extent of relief applied for is

1-three season
closed in porch
tin roof
vinyl siding like
existing house

9.	Why is it not possible to comply with the provisions of the By-Law? <u>too close to waterfront</u>
10.	Existing Village of Merrickville-Wolford Official Plan designation of the land:
11.	Existing Village of Merrickville-Wolford Zoning of the land:
12.	Existing County Official Plan Designation:
13.	Other applications submitted with this application:
	Official Plan Amendment <input type="checkbox"/> Consent <input type="checkbox"/> Zoning <input type="checkbox"/> Plan Of Subdivision <input type="checkbox"/>
14.	Have the subject lands ever been the subject of an application for an official plan amendment, zoning amendment, minor variance or site plan control? Yes <input type="checkbox"/> (please provide details below) No <input type="checkbox"/> <u>coverance app. done 2017 for lot to west of property - denied</u>
15.	Existing use of subject property and length of time this use has continued on the subject property if known please provide length of time that the existing use has continued: <u>private home residential</u>
16.	Description of all buildings and structures on or proposed for the subject lands (specify ground floor area, gross floor area, number of storeys, width, length, height of buildings as well as distance from side, rear and front lot lines): <u>1000 sqft bungalow 10x10 3 season porch @ west end.</u> <u>Existing: 1000 sqft bungalow 10x10 3 season porch @ west end. Free standing bushy 10'x16 10x14</u> <u>Proposed: enlarge existing deck by 4x12'ft to make total sqft 260 sqft to close in as 3 season porch</u>
17.	Date of construction of all buildings and structures on subject lands: <u>1970's</u>
18.	Does this application require demolition of an existing building? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, please specify:

130' waterfront

see
drawings

19.	Number of Parking Spaces <u>5</u>
	Number of Existing: Number of Proposed:
20.	Type of access to the lands and name of road: <u>single drive. Broadway West</u>

Provincial Highway		County Road 43	
Year-Round Municipal Road <input checked="" type="checkbox"/>		Seasonal Municipal Road	
Unopened Road Allowance		Private Right-of-Way	
Water Access		Other, please specify	
21. Services currently available, or to be available:			
	Municipal Water	Communal Water	Private Water
Existing	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Proposed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
22. Are Stormwater Sewers present?		Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Proposed <input type="checkbox"/>	
23. Are there any of the following uses or features on the subject lands or within 500 metres of the subject property? <i>No</i>			
Use or Feature	On a Subject Land?	Within 500 m of Subject Land?	
An agriculturally designated area	No	No	
A livestock facility (ie. Barn) or manure storage facility	No	No	
A landfill site (active or closed)	No	No	
A sewage treatment plant/lagoon	No	No	
An industrial use	No	No	
A licensed pit or quarry or an area designated for aggregate extraction	No	No	
A mining hazard	No	No	
An active railway line	No	No	
A flood plain or other natural hazard	No	No	
A natural gas or oil pipeline	No	No	
A hydro easement	No	No	
A contaminated site	No	No	
A well head protection zone	No	No	
A provincially significant wetland	X	1/2 third of lot to the west	
An area of natural and scientific interest (ANSI)	No	No	
Fish/Wildlife Habitat	No	No	
A designated heritage property	No	No	

no flood zone

1/2 third of lot to the west

MUST BE COMPLETED IN THE PRESENCE OF A "COMMISSIONER". THE MUNICIPAL CLERK IS AN AUTHORIZED COMMISSIONER.

I, _____ of the _____, in _____ of _____

_____, hereby solemnly declare that the information contained in this application are on the attached plan and any associated information submitted with this application are, to the best of my belief and knowledge, a true

Established 1793
Incorporated
Wolford 1850
Merrickville 1860
Amalgamated 1998



Telephone (613) 269-4791
Facsimile (613) 269-3095

THE CORPORATION OF THE VILLAGE OF MERRICKVILLE-WOLFORD

MUST BE COMPLETED IN THE PRESENCE OF A "COMMISSIONER". THE MUNICIPAL CLERK IS AN AUTHORIZED COMMISSIONER.

I, Carolyn Day of the Village of Merrickville-Wolford in the County of Leeds & Grenville, hereby solemnly declare that the information contained in this application are on the attached plan and any associated information submitted with this application are, to the best of my belief and knowledge, a true and complete representation of the purpose and intent of this application.

There is a minimum NON-REFUNDABLE fee of \$500.00 (Charges incurred or disbursements over this amount shall be charged to the applicant, plus the costs charged by outside agencies.)

Date: Mar 5/21

Signature of Owner: Carolyn Day

Signature of Agent or Applicant: Carolyn Day

DECLARED BEFORE ME AT THE Village OF Merrickville-Wolford IN THE County OF Leeds & Grenville, THIS 5 DAY OF March, 2021.

A COMMISSIONER, ETC: Kirsten Rahm

Kirsten Rahm
Treasurer, Commissioner
The Village of Merrickville-Wolford

FREEDOM OF INFORMATION/ACCESS TO PROPERTY CONSENT OF OWNER

I, _____, being the registered owner of the lands subject of this application for minor variance, and for the purposes of the Freedom of Information and Protection of Privacy Act, hereby authorize and consent to the use by or the disclosure to any person or public body of any personal information that is collected under the authority of the Planning Act for the purposes of processing this application. I also authorize and consent to representatives of the Village of Merrickville-Wolford, and the persons and public bodies conferred with under Section 45 (5) of the Planning Act, entering upon the lands subject of this application for the purpose of conducting any site inspections as may be necessary to assist in the evaluation of this application.

March 05 21
Date

Carolyn Day
Owner's Signature



Application for MINOR VARIANCE AMENDMENT

Declarations

I, Carolyn Day being the registered property owner(s) of the property that is the subject of this application for Minor Variance Amendment, do hereby understand and consent to forthwith pay any and all additional costs associated with the processing of this application. Failure to do so will result in cancellation of processing the application and/or all fees may be added to the assessment rolls of the affected property.

Carolyn Day Larry Feenstra
Owner (print name)

Carolyn Day
Signature

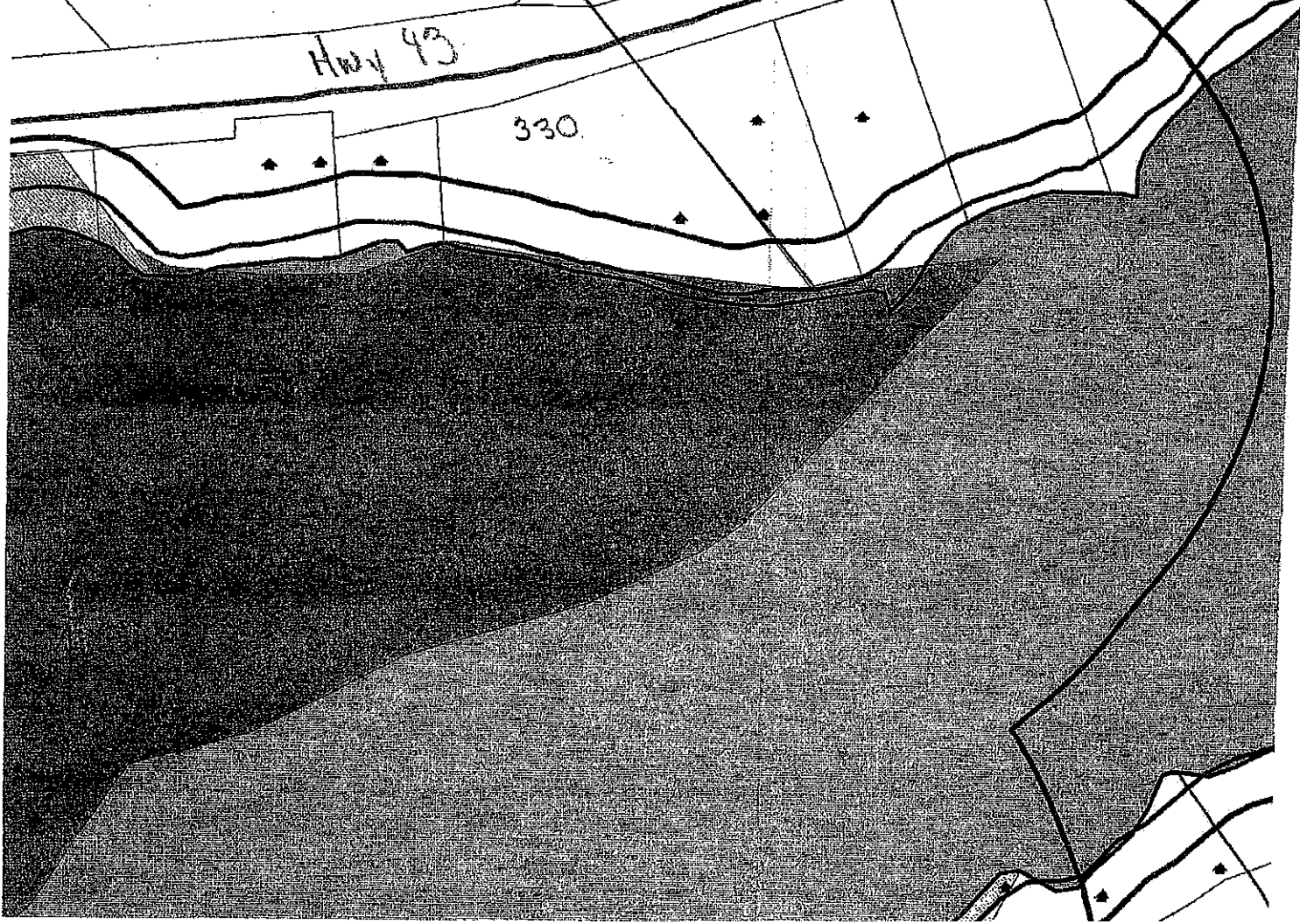
Mar 05/21
Date

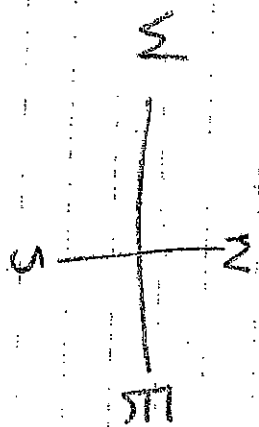
Mar 05/21
Date

Carolyn
330 DAY
Bridges &

Hwy 43

330

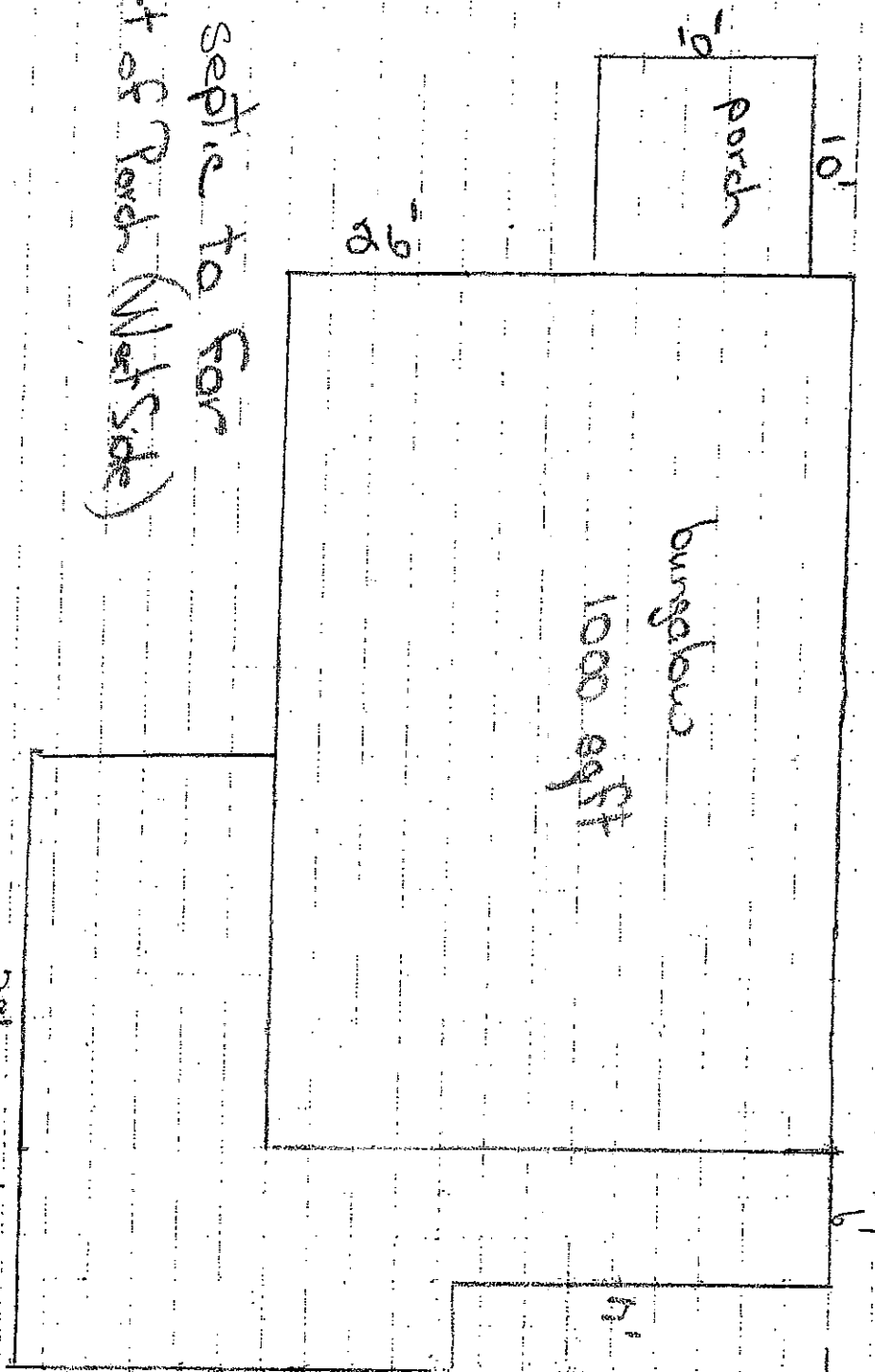




Existing

1 sq = 2 ft

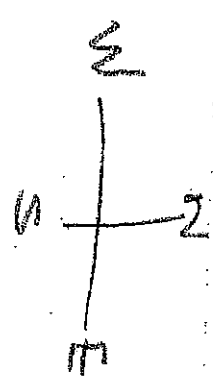
septic to far
left of porch (West side)



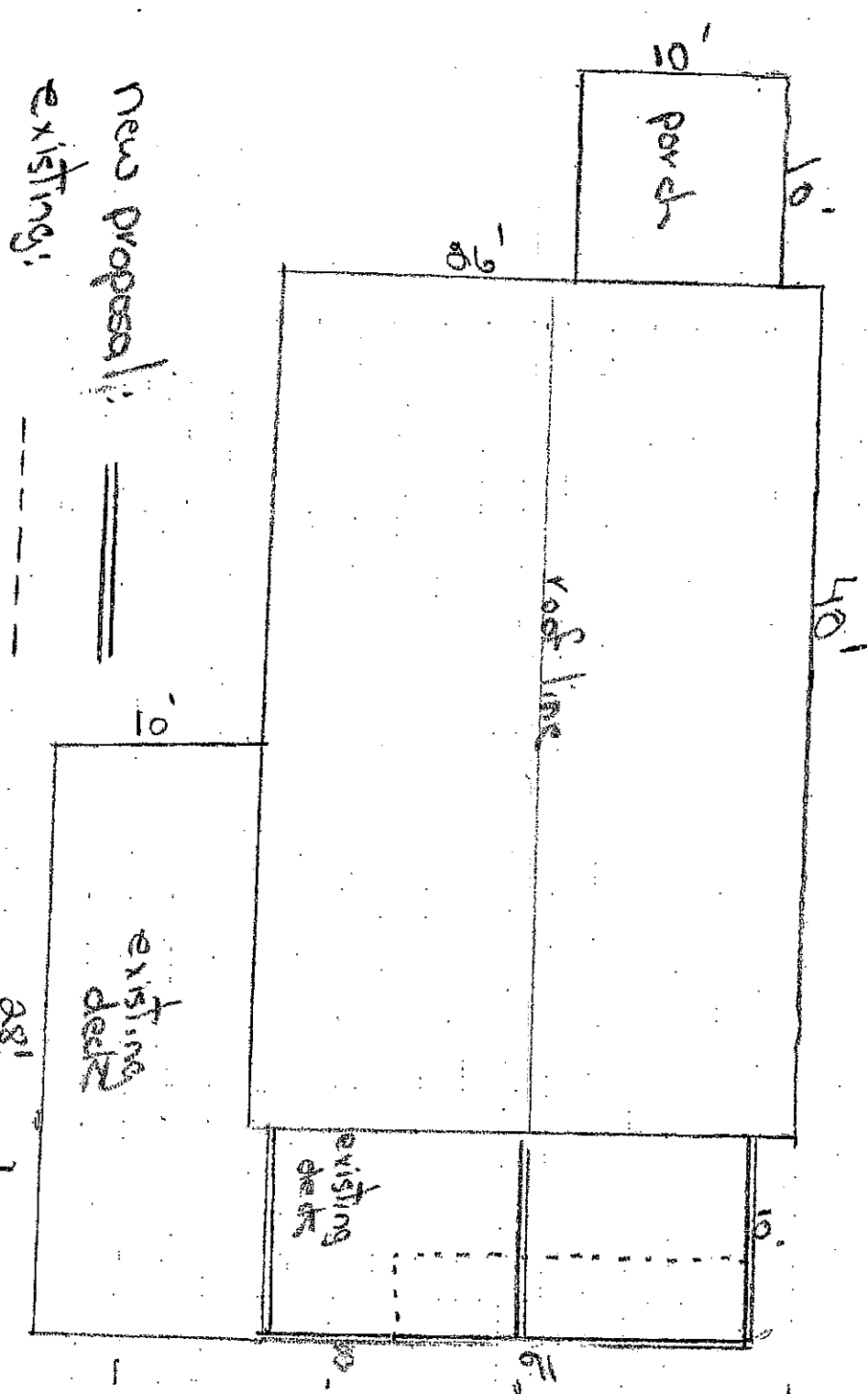
41 ft to
property line

60 ft to
property line

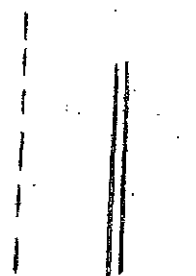
51 ft
↓ to shrine



Proposed



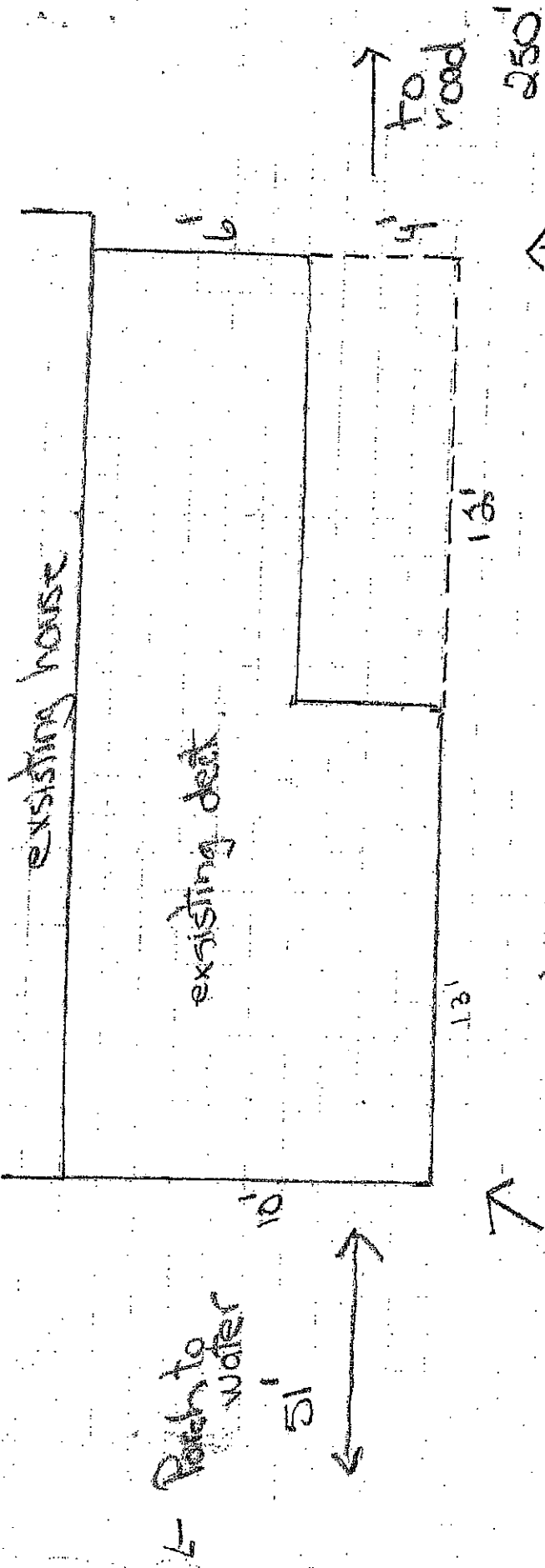
New proposal:
existing:



21ft
to
waterfront

60ft to
property line

41ft to
property line



330 West Broadway
Merriamville

TT 112 Plan 6

Cell Carolyn Day 613-222-1180

41' Porch to Property Line

Porch to
Property Line
60'



VILLAGE OF MERRICKVILLE- WOLFORD

**Notice of Public
Hearing Application for
Minor Variance File No.
A-03-2021
Section 45(1) of the Planning Act, 1990**

IN THE MATTER of an application for extension of legal non-complying use with respect to the following:

Name of Owner(s): Larry Feenstra/Carolyn Dey
Location of Property: 330 Broadway Street West, Village of Merrickville-Wolford, Part Lot 10 Concession B

TAKE NOTICE that an application under the above file number will be heard by the Committee of Adjustment on the date and time and at the location shown below:

Date and Time: Thursday, April 8, 2021 at 6:00 p.m.
Location: Merrickville Community Centre, 106 Read Street, Merrickville, ON

Purpose of Application:

The application requests relief from Merrickville-Wolford Zoning By-Law 23-08, as amended, to increase the size of an existing legal non-complying dwelling unit (deck), and to allow proposed extended deck to be covered. Specifically, the request is to allow the deck at the NE corner of the dwelling unit to be extended by 4' to 4' x 12' and covered. The proposed project is within 30 m of the river, outside the floodplain, and would be no closer to the river than existing legal non-complying dwelling unit.

Official Plan (current and adopted): Rural & Area of Natural and
Scientific Interest (ANSI)
Zoning: Residential Type One (R1)

Additional information relating to the proposed minor variance is available for inspection on the Village Website at www.merrickville-wolford.ca or by email request to deputyclerk@merrickville-wolford.ca.

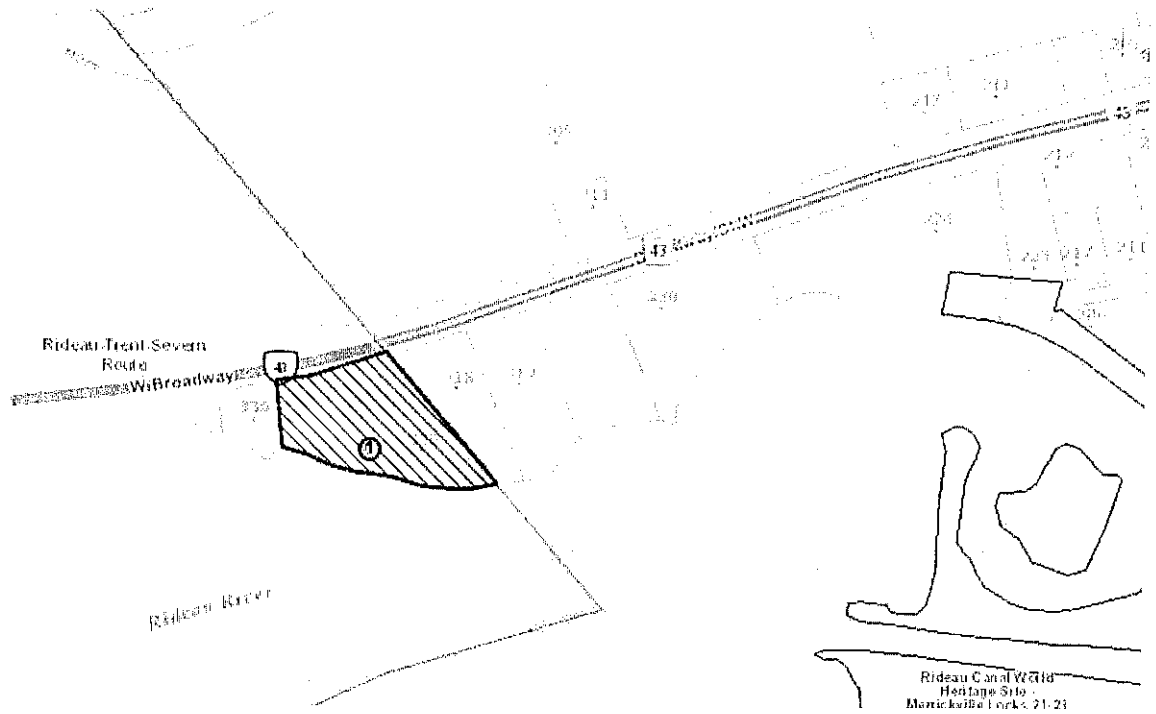
Any person may make written representation in support of or in opposition to the proposal. Written comments shall be submitted to the Clerk by mail to P.O. Box 340, Merrickville, K0G 1N0, or by email to deputyclerk@merrickville-wolford.ca no later than 4:30 p.m. on April 7, 2021. Please refer to file number above in all communications. Written submissions will be provided to the members of the Committee of Adjustment in advance of the meeting, if possible. The Clerk will verbally read out written deputations during the meeting at the time the application is considered. You are entitled to attend this public hearing in person.

If a person or public body that files an appeal of a decision of the Committee of Adjustment in respect of the proposed Minor Variance, does not make written submissions to the Committee of Adjustment before a decision is made, the Local Planning Appeal Tribunal may dismiss the appeal. If you wish to be notified of the decision of the Committee of Adjustment in respect to the proposed Minor Variance, you must make written request to the above address.

Dated this 23rd day of March 2021
Doug Robertson, CAO/Clerk

Key Map

330 Broadway Street West, Village of Merrickville-Wolford, Part Lot 10
Concession B outlined in red below.





Jp2g Consultants Inc.

ENGINEERS • PLANNERS • PROJECT MANAGERS

12 International Drive, Pembroke, ON, K8A 6W5
T 613-736-2507, F 613-735-4513, www.jp2g.com

March 29, 2021

Village of Merrickville-Wolford
317 Brock Street West
P.O. Box 340
Merrickville, ON K0G 1N0

Attention: Doug Robertson, CAO/Clerk

Re: **Planning Report: Minor Variance A-03-2021 (Feenstra/Dey)**
330 Broadway Street West, Part Lot 10, Concession B,
Village of Merrickville-Wolford
Our File No. 20-7059A

Please accept the following Planning Report summarizing the nature and effect of the minor variance application before the Committee of Adjustment for 330 Broadway Street West. The Report also summarizes relevant planning policy and provides a professional planning opinion on the merits of the application.

Purpose and Effect

The purpose of the application is to seek relief from Merrickville-Wolford Zoning By-Law 23-08, as amended, to increase the size of an existing legal non-complying dwelling unit (deck), and to allow proposed extended deck to be covered. Specifically, the request is to allow the deck at the NE corner of the dwelling unit to be extended by 4' to 4' x 12' and covered. The proposed project is within 30 m of the river, outside the floodplain, and would be no closer to the river than existing legal non-complying dwelling unit.

Description of Development

The applicant owns the waterfront subject property which is currently occupied by an existing single detached dwelling located approximately 61 feet (18.6 m) from the water's edge. The proposal is to extend the existing deck with a 4' X 12' addition and for the deck to be covered. The proposed development will not be closer to the water than the existing structure. The development is to take place within the 30 m setback of the water's edge and therefore needs the approval of the Committee of Adjustment.

Site and Surrounding Land Use

The subject property is located on the north side of the Rideau River, at the western entrance of the Village of Merrickville. The subject property is one of a series of residential lots fronting on Broadway Street West (County Rd #43) and abutting the Rideau River. The subject property has approximately 111 m (365 ft) of frontage on Broadway Street West and a depth of 73 m (240 ft) extending from Broadway Street West to the northern shore of the Rideau River, with an area of 0.45 ha (1.12 ac). The property is occupied by a single detached dwelling that is serviced by private well and septic system (Map 1).

The surrounding land use consists of similar size properties and structures on the south side of Broadway Street West. On the north side of Broadway Street West is an area zoned and



developed for highway commercial development, including the existing storage buildings. Further to the east is located a former industrial building.

Existing Official Plan and Zoning

The subject property is designated "Residential" in the Village of Merrickville-Wolford Official Plan (2006). This designation permits a range of residential uses, including the existing single detached dwelling. Section 3.10.2 of the Official Plan sets out the policies for consideration of minor variance requests. The policies read:

- "1. Section 45 of the Planning Act concerns applications to the Committee of Adjustment. The Committee may authorize minor variances from the provisions of the Zoning By-law, provided the minor variance(s) is desirable for the appropriate development or use of the land building or structure, and provided the general intent and purpose of the Official Plan and Zoning By-law are maintained.
2. Where a minor variance is sought on a lot which is a waterfront lot, the minor variance generally should not further reduce a deficient waterbody setback. Further, the Committee may require, as a condition of granting the minor variance, that natural shorelines and native vegetation within the waterfront setback be re-established along those portions of the shoreline which are not used for marine facilities or access to the water."

The Village of Merrickville-Wolford Zoning By-law 23-08 zones the subject property "Residential Type One (R1)" and Flood Plain (FP). The R1 zone permits single detached dwellings.

No development is currently or proposed to be within the Floodplain. The proposed addition is proposed within the 30 m setback of the Rideau River. No new development will be closer than the existing dwelling and deck.

Comments

The RVCA has provided written comments of no objection but did request conditions on the approval that include:

- Sediment and erosion controls between the construction area and the shoreline are to be installed prior to initiation of the work, to remain in place until the site has been allowed to regenerate and vegetation has been re-established to the satisfaction of the Township/Chief Building Official.
- Excavated materials will be disposed of well away from the lake, in excess of 30 metres.
- Roof runoff shall be collected and directed on-site and away from the lake to provide the greatest infiltration for surface runoff. Runoff should not be directly outlet towards the Rideau River.
- Regeneration of the waterfront/slope vegetative buffer with native vegetation cover is important on this site. Native plant cover will help to stabilize the waterfront, protect against nutrient and sediment load to the lake and reduce costly maintenance over the long term. We recommend that more native vegetation be planted over the frontage and particularly between the dwelling and the water. Allowance can be



made for a modest pedestrian access path traversing this re-naturalization area to the water's edge. We recommend that the applicant contact the Shoreline Naturalization Program staff (Meaghan McDonald) at 1-800-267-3504 or 613-692-3571 to assist with additional site plantings along the shoreline to off-set the impacts of the addition to the Rideau River.

- Should any in-water or shoreline works or alterations be proposed, prior written approval from the Rideau Canal Office of Parks Canada is required.

The LLGDHU provided comments of no objection and noted that "based on the information available the proposed renovation will not result in a change to the Total Daily Design flow for the septic system. The Leeds, Grenville and Lanark District Health Unit has no objection to granting the proposed Minor Variance.:

No other comments were received at the writing of this report.

Planning Opinion – Four Test for Minor Variance

As expressed in the Village Official Plan, the Ontario Planning Act sets out four tests in the consideration of Minor Variance applications:

1. Does the development proposed maintain the general intent of the Official Plan?
2. Does the development proposed maintain the general intent of the Zoning By-law?
3. Is the variance desirable for the appropriate development or use of the land?
4. Is the variance requested minor?

The following is a review of these four tests against the requested increase in size of an existing legal non-complying dwelling unit (deck), and cover and extension of the deck.

Test 1: Official Plan

The Village of Merrickville-Wolford clearly supports the residential use of the subject lands. Provided the minor variance application can satisfy the four tests, the proposed development is deemed to conform to the Official Plan.

The proposed Minor Variance maintains the general intent and purpose of the Village Official Plan.

Test 2: Zoning By-law

The Village of Merrickville-Wolford Zoning By-law 23-08 identifies the property as being zoned for residential uses. The only provisions of the Zoning By-law not satisfied is the water setback.

The intent of the 30 m setback is to encourage the protection of the water resources located throughout the Village. It is generally accepted that the redevelopment of existing non-complying buildings within the 30 m setback can proceed provided the development does not further encroach into the setback.

In the case of this development proposal, the change is quite modest with the construction of a 4' x 12' addition to the existing deck and extending the roof over the deck structure and is not encroaching further into the 30 m setback. In general, the proposed development maintains the intent and purpose of the Zoning By-law.



The proposed Minor Variance maintains the general intent and purpose of the Village Zoning By-law.

Test 3: Desirable for the Appropriate Development or Use of the Land

The residential use of the subject property is desirable. The ability to include conditions that promote the protection of the shoreline and the Rideau River, as proposed by the RVCA result in a net environmental gain for the property. It is recommended that there be a condition that under no circumstances will the roofed deck be allowed to be fully enclosed as living space be included in the condition. The development is deemed desirable.

The proposed Minor Variance is desirable for the appropriate development of the subject land.

Test 4: Variance is Minor

The impact of the deck addition and extending the roof over the deck structure is seen to be minor in terms of its impact. The development is not extended closer to the water.

The proposed Minor Variance is minor in terms of its impact.

For these reasons, it is my opinion that the proposed Minor Variance to permit the deck addition and extension of the roof line meets the four tests set out in the Planning Act and represents good land use planning.

Sincerely,

Jp2g Consultants Inc.

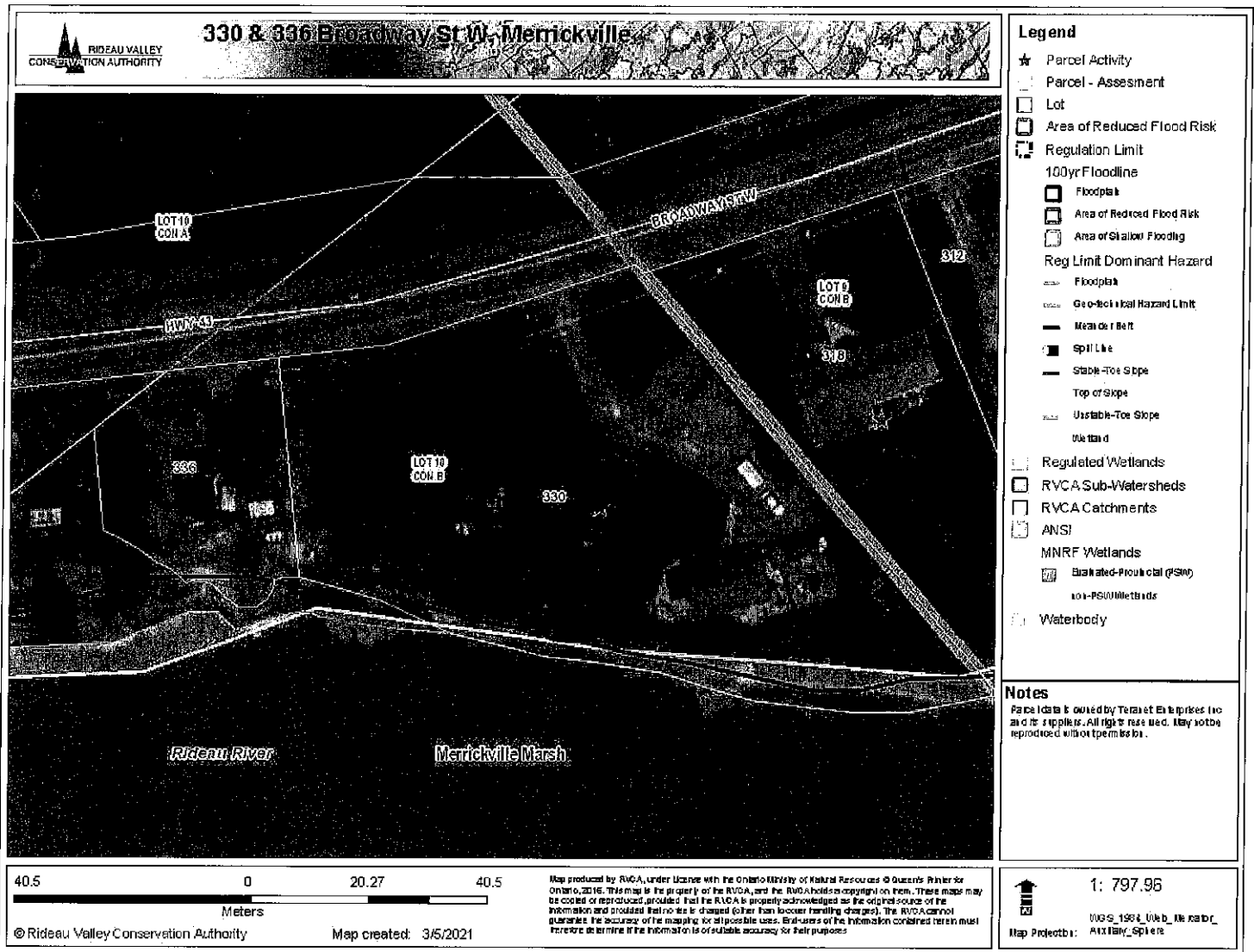
ENGINEERS • PLANNERS • PROJECT MANAGERS

Respectfully submitted:

A handwritten signature in black ink, appearing to read 'F. Symon', with a long horizontal flourish extending to the right.

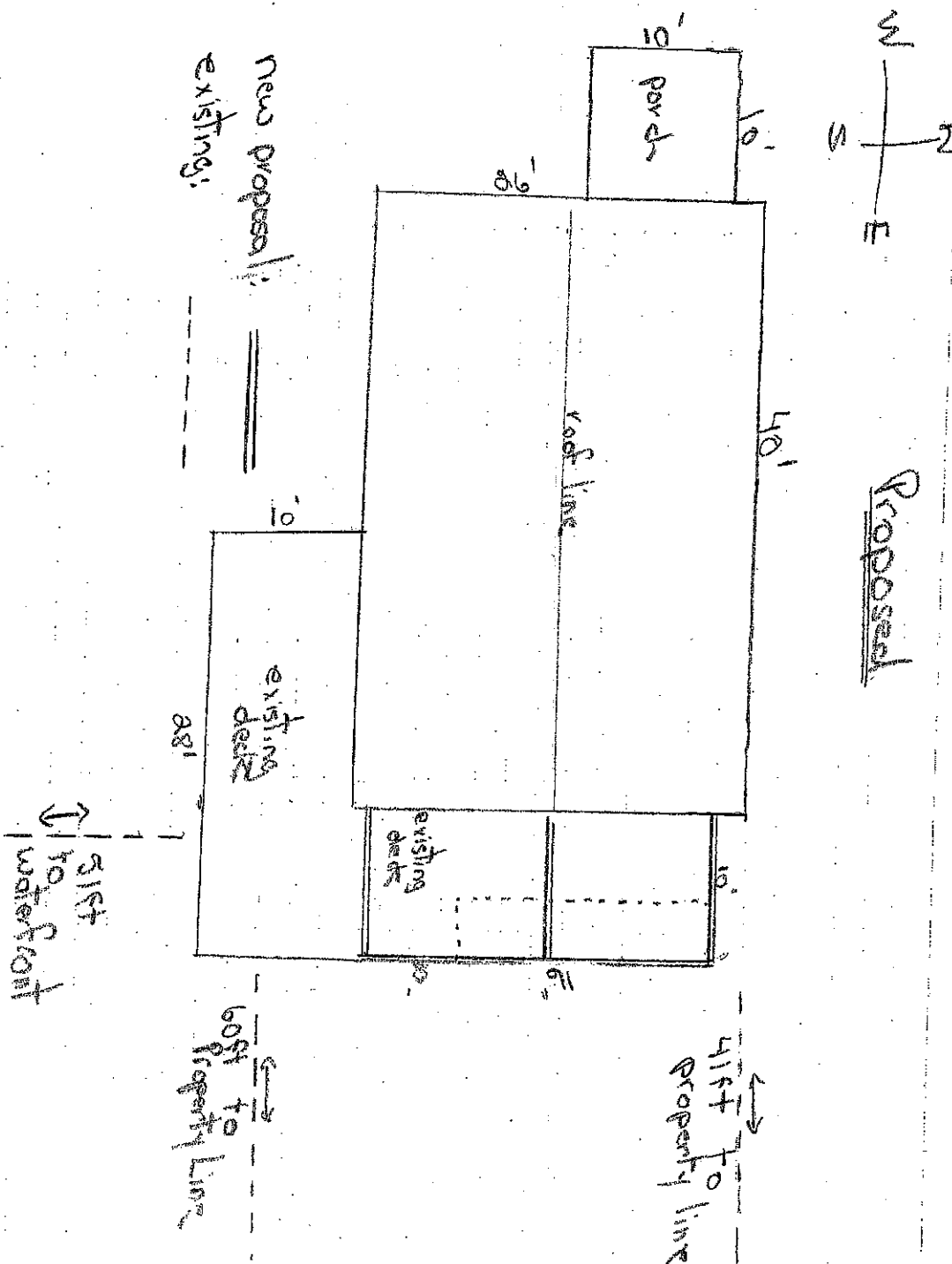
Forbes Symon, MCIP, RPP
Senior Planner

Map 1: Location of Subject Property





Map 2: Reconstruction Plan of Subject Property





Development Review Team

March 11, 2021
21-MWO-MVA-0006

Village of Merrickville-Wolford
P.O. Box 340
317 Brock Street W,
Merrickville, Ontario
K0G 1N0

Attention: Stacie Lloyd

**Subject: Carolyn Dey & Larry Feenstra
Part Lot 10 Concession B
Village of Merrickville Wolford
Merrickville, ON
(Civic Address: 330 Broadway Street W)**

Dear Ms. Lloyd,

The Rideau Waterway Development Review Team (RWDRT) has reviewed the noted application on behalf of the Rideau Valley Conservation Authority within the context of:

- Section 2.1 Natural Heritage and 3.1 Natural Hazards of the Provincial Policy Statement (2020) under Section 3 of the Planning Act.
- Rideau Valley Conservation Authority regulations under Section 28 of the Conservation Authorities Act,
- The 2014 Rideau Lakes Subwatershed Report,
- the considerations for waterfront setbacks and best management practices derived from the "Rideau Lakes Study" and the associated "municipal Site Evaluation Guidelines (updated 2015).

and on behalf of Parks Canada-Rideau Canal Office within the context of:

- Federal Species at Risk Act and Impact Assessment Act,
- Federal Policy on Wetland Conservation,
- Historic Canals Regulations,
- Waterway Navigation,
- Natural and Cultural Resources,
- Federal Crown ownership,
- The National Historic Site and UNESCO World Heritage designations of the Rideau Canal.

The Proposal

11

The applicant seeks approval to build a 48sqft (4ftx12ft) addition. The variances requested is:

Working Together in One Environment

- Section 3.27.2.1 of the Village of Merrickville-Wolford Zoning By-law 23-08, as amended, Relief of 9m from the required 30m water setback to allow for a 21m water setback for the proposed addition..

The Property

The property is irregularly shaped, approximately 1.12 acres in size and located on the Rideau River. There is approximately 116 metres of shoreline and the eastern lot line is approximately 43 metres deep from the highwater mark of the river to the rear lot line and the Western lot line is approximately 74metres. The entire property is within the 120 metre adjacent lands to the Merrickville Marsh, which runs is along the Rideau River. The property is flat and predominantly lawn with some mature trees to the north east of the dwelling. There is some shrubs and trees along the shoreline. The dwelling is a 1000sqft bungalow and large driveway.

RVCA Comments and Recommendations

Preservation of this minimum setback within which disturbance is restricted has been a common ideal in place to protect lakes, rivers and wetlands over the long term. Maintenance of water setbacks act to offset the intensification of use of the property expected with greater and more frequent use of the site. Over the long term, more use and more development will continue to apply greater impact (sediment, nutrient loading) to Rideau River. Therefore, we encourage development and redevelopment to respect this setback consideration in keeping with the Township's minimum requirements to help protect the Rideau River. The RVCA and Parks Canada encourage conformity with and compliance to the Official Plan and Zoning By-law where possible in such development proposals.

RVCA does not object to the approval of the minor variance as presented. The proposed addition is no closer to the water than the existing dwelling, it is attached to the rear side of the dwelling. This application is considered minor in nature. We recommend the following best management practices be incorporated into the development plan to protect the Rideau River. These matters are to be incorporated into the approval as may be granted:

- Sediment and erosion controls between the construction area and the shoreline are to be installed prior to initiation of the work, to remain in place until the site has been allowed to regenerate and vegetation has been re-established to the satisfaction of the Township/Chief Building Official.
- Excavated materials will be disposed of well away from the lake, in excess of 30 metres.
- Roof runoff shall be collected and directed on-site and away from the lake to provide the greatest infiltration for surface runoff. Runoff should not be directly outlet towards the Rideau River.
- Regeneration of the waterfront/slope vegetative buffer with native vegetation cover is important on this site. Native plant cover will help to stabilize the waterfront, protect against nutrient and sediment load to the lake and reduce costly maintenance over the long term. We recommend that more native vegetation be planted over the frontage and

11

Working Together in One Environment

Parks Canada-Rideau Canal | Rideau Valley Conservation Authority | Cataraqui Region Conservation Authority

613-283-7199

613-692-3571

613-546-4228

particularly between the dwelling and the water. Allowance can be made for a modest pedestrian access path traversing this re-naturalization area to the water's edge. We recommend that the applicant contact the Shoreline Naturalization Program staff (Meaghan McDonald) at 1-800-267-3504 or 613-692-3571 to assist with additional site plantings along the shoreline to off-set the impacts of the addition to the Rideau River.

Because the addition is within the 120m adjacent lands of the Merrickville Marsh Provincially Significant Wetland (PSW), it is regulated and reviewed under Ontario Regulation 174/06, the "*Development, Interference with Wetlands and Alterations to Shorelines and Watercourses*" regulation. A permit can be issued for the work that is requested under the minor variance. An application and description of the required information can be found at this link: <https://www.rvca.ca/regulations-planning/rvca-permits-section-28/make-an-application> . For this application the fee will be \$260 (payment details on the website).

Parks Canada Comments and Recommendation

The Rideau Canal National Historic Site of Canada, Canadian Heritage River and UNESCO World Heritage Site is administered by Parks Canada to preserve the cultural, natural and scenic values so that all Canadians can enjoy this legacy into the future. All parties have a responsibility to ensure the stewardship and conservation of this internationally recognized waterway. This can be achieved in part by conserving natural shorelines, retaining and enhancing native vegetation within the 30 metre buffer zone, and developing the property in a manner that complements the visual character of the landscape. While not a part of the Rideau Canal itself, the 30 metre buffer is intended to provide an additional layer of protection.

For any new buildings or structures situated within the 30 metre buffer, the use of building materials and colours that blend in with the surrounding landscape are encouraged. Earth tones and neutral colours are recommended for the finished exterior of the dwelling. Reflective materials, such as galvanized and bare metals, particularly for roof coverings and support structures, are discouraged.

The Parks Canada Rideau Canal Office is an approval authority for in-water and shoreline works along the waterway. If the landowner wishes to carry out any new in-water and shoreline works including but not limited to docks, decks, boathouses, launch ramps, beaches, dredging and shoreline stabilization devices, the Rideau Canal Office must be contacted. Written approval must be obtained prior to the commencement of construction. Work must adhere to the Rideau Canal's *Policies for In-water and Shoreline Works and Related Activities*. Parks Canada/Rideau Canal permitting staff can be reached by contacting Debbie Farmer, A/ Real Property Officer, Ontario Waterways (Debbie.Farmer@Canada.ca , Tel: 705-750-4923).

Should the Township support the proposed development, Parks Canada requests inclusion of the following recommendation for conditions in the site plan control agreement:

- 11 - Should any in-water or shoreline works or alterations be proposed, prior written approval from the Rideau Canal Office of Parks Canada is required.

Working Together in One Environment


Conclusion and Recommendations

In conclusion, the RVCA and Parks Canada-Rideau Canal Office do not object to the approval of the minor variance as presented.

Thank you for the opportunity to comment. Please do not hesitate to contact the undersigned should you have any questions.

Please advise the RVCA and Rideau Canal Office on the committee's decision regarding this application or of any changes in its status.

Yours truly,



Michael Yee
Environmental Planner & Biologist, RVCA
613-692-3571 X 1176

Cc - Carolyn Dey & Larry Feenstra (Owners)
- Forbes Symon – MW Planner
- Parks Canada – Susan Millar
- Emma Bennett, RVCA and Matt Jokiel, RVCA
- Meaghan McDonald, RVCA

Christina Conklin

From: MacNeil, Ben <Ben.MacNeil@healthunit.org>
Sent: Tuesday, March 30, 2021 1:58 PM
To: Economic Development Officer
Subject: RE: Merrickville-Wolford Minor Variance Hearing April 8/21 - 4 applications
Attachments: image001.jpg

Hello Stacie,

Please find comments below for the upcoming Committee of Adjustment meeting.

A-01-2021: Based on the information available the proposed renovation would not result in a change to the Total Daily Design Flow for the septic system. The Leeds, Grenville and Lanark District Health Unit has no objection to granting the proposed Minor Variance.

A-03-2021: Based on the information available the proposed renovation will not result in a change to the Total Daily Design flow for the septic system. The Leeds, Grenville and Lanark District Health Unit has no objection to granting the proposed Minor Variance.

A-04-2021: This lot appears to be on Municipal services. The Leeds, Grenville and Lanark District Health Unit has no objection to granting the proposed Minor Variance.

A-05-2021: Based on the information available the proposed renovation will not result in a change to the Total Daily Design flow for the septic system. The Leeds, Grenville and Lanark District Health Unit has no objection to granting the proposed Minor Variance.

Regards,

Ben MacNeil
Public Health Inspector
Leeds, Grenville and Lanark District Health Unit.
613-345-5685

Sent from my Galaxy

----- Original message -----

From: Economic Development Officer <edo@merrickville-wolford.ca>
Date: 2021-03-24 12:43 PM (GMT-05:00)
To: "Carpenter, Nancy" <Nancy.Carpenter@healthunit.org>, "MacNeil, Ben" <Ben.MacNeil@healthunit.org>
Subject: FW: Merrickville-Wolford Minor Variance Hearing April 8/21 - 4 applications

Hi Nancy/Ben,

We have a few upcoming Minor Variance Applications scheduled for Committee of Adjustment Hearing on Apr 8 at 6 pm in Merrickville – Hearing Notices are attached, which provide a description of the proposed projects. I will send you all documents related to the minor variances (applications, drawings, site plan sketch, etc) with request for the health unit to provide comments where relevant.

File # A-01-2021 (SWAN) – 235 Boyds Landing Lane * File # A-03-2021 (DEY/FEENSTRA) – 330 Broadway St West * File # A-04-2021 (CARD) – 323 St Lawrence St File # A-05-2021 (HUESTIS) – 317 Main St East *

*We are expecting reports from RVCA on these ones this week, let me know if you would like me to send you a copy of the report.

Is it possible to receive your comments by March 30?

Many thanks, if you'd like to discuss, today I am at 613-324-5387, and tomorrow & Friday at the number below.

Stacie

Stacie Lloyd
Economic Development Officer

Village of Merrickville-Wolford
317 Brock St W, Box 340
Merrickville ON K0G 1N0
Phone (613) 269-4791 Ext 242
edo@merrickville-wolford.ca<mailto:edo@merrickville-wolford.ca>

[MWlogocol-1 - very small]

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	Date Req'd
Information Purposes	
Policy / Action Req'd	
Strategic Plan	

STAFF REPORT TO Committee of Adjustment Merrickville-Wolford

April 8, 2021

From: Shawn Merriman

RE: Building Department Insight re: Construction issues 330 Broadway Street W
File Number A-03-2021

Recommendation: Report for information purposes only and consideration by the members of the Committee of Adjustment.

Issue 1: The building department can confirm that this is the most efficient and practical way to construct on the site without increasing the area already affected and is most practical in terms of squaring off the building and making it useful.

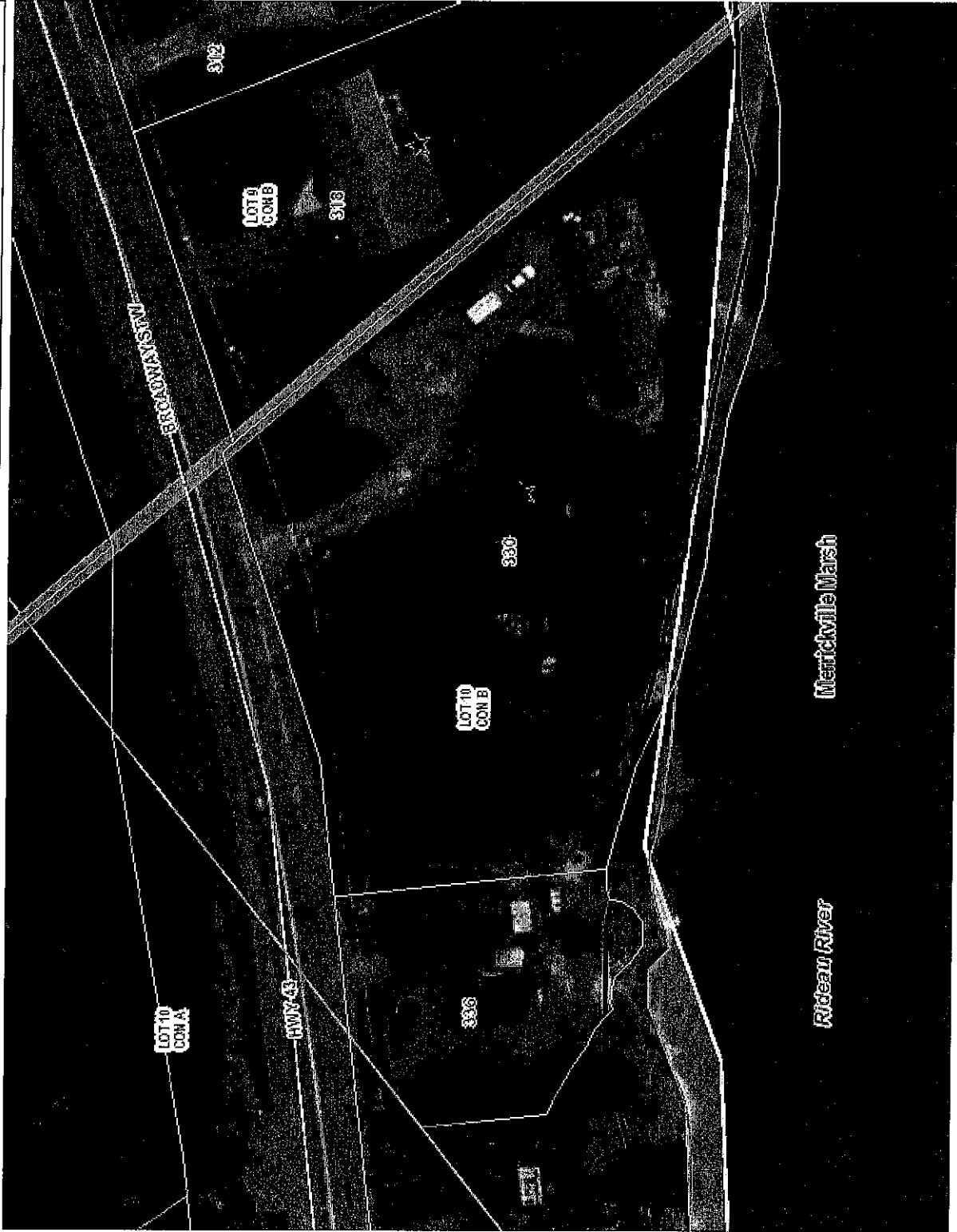
Issue 2: The Building department in relation to the conservation request of condition on the native vegetative strip. As per currently worded this is unenforceable therefore the committee should set some minimum conditions such as 3 metres wide by X % of the frontage. Or the committee should not make the vegetative strip a condition but a recommendation only.

Application proponents note: Please note that the department found the applicants to be polite and understanding about their issues in relation to this lot. When informed of a need for a minor variance they quickly and efficiently submitted an application and were polite and interested in doing things the correct way. This department has no concerns about any conditions applied in allowing this project to commence in being carried out. Hence no request for additional fees of deposit as a condition of the decision.

		Date Req'd
Information Purposes		
Policy / Action Req'd		
Strategic Plan		

Conditions asked to be considered: Specific to Issue number 2 that either it be a recommendation or that it have some specific minimums.

Shawn Merriman CBCO, RASDT, WETT
Building Official Merrickville-Wolford



Legend

- ★ Parcel Activity
- Parcel - Assessment
- Lot
- Area of Reduced Flood Risk
- Regulation Limit
- 100yr Floodline
- Floodplain
- Area of Reduced Flood Risk
- Area of Shallow Flooding
- Reg Limit Dominant Hazard
- Floodplain
- Geo-technical Hazard Limit
- Meander Belt
- Spill Line
- Stable-Toe Slope
- Top of Slope
- Unstable-Toe Slope
- Wetland
- Regulated Wetlands
- RVCA Sub-Watersheds
- RVCA Catchments
- ANSI
- MNRF Wetlands
- Evaluated-Provincial (PSW)
- non-PSW Wetlands
- Waterbody

Notes

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40.5 0 20.27 40.5

Meters

© Rideau Valley Conservation Authority Map created: 3/5/2021

1: 797.96



WGS 1984 Web Mercator - Auxiliary_Sphere

Established 1793
Incorporated
Wolford 1850
Merrickville 1860
Amalgamated 1998



A-04-2021

Telephone (613) 269-4791
Facsimile (613) 269-3095

THE CORPORATION OF THE VILLAGE OF MERRICKVILLE-WOLFORD
Application for Minor Variance or Permission

FOR OFFICE USE ONLY

Date the Application was Received by the Village: _____

1. Property Owner's Name: _____

Address: _____

Postal Code: _____

e-mail: _____

Telephone: Home: _____

Cell: _____

Work: _____

Fax: _____

2. Applicant/Agent Name: _____

Address if different from Owner: _____

Postal Code: _____

e-mail: _____

Telephone: Home: _____

Cell: _____

Work: _____

Fax: _____

3. Name and address of any mortgages, holders of charges or other encumbrances of the subject lands: _____

PAUL SAWKE (OLYMPIA TRUST) 100-9293 HWY 93, MIDLAND, ON L4R 4K4

4. Legal Description of Property: Former Municipality _____

Lot(s): _____

46 S OF RIVER

Concession: _____

Lot(s): _____

Registered Plan: 6

Part(s): _____

Reference Plan: _____

Street Address: _____

323 ST. LAWRENCE ST, MERRICKVILLE

Roll Number: _____

0714-714-0150/100

Survey Attached: _____

Yes ☒ No

5. Are there any easements or restrictive covenants affecting the subject property? _____

Yes ☒ No

6. If yes, please describe the easement or covenant: _____

7. Dimensions of lands affected: _____

Frontage: 50.0 FT

Depth: 200.0 FT

Area: 10,000 SF

Width of Street: _____

8. Nature and extent of relief applied for: _____

TO ADD A NEW CUSTOM SHED BESIDE THE EXISTING GARAGE AS WAREHOUSE SPACE FOR OUR STORE. THE PROPOSED SHED IS A DOUBLE SHED, TOTAL DIMENSIONS 24X32 FT

Established 1793
Incorporated
Wolford 1850
Merrickville 1860
Amalgamated 1998



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THE CORPORATION OF THE VILLAGE OF MERRICKVILLE-WOLFORD

9. Why is it not possible to comply with the provisions of the By-Law?

WE ARE ALREADY OVER OUR LOT COVERAGE ALLOWANCE FOR OUTBUILDINGS

10. Existing Village of Merrickville-Wolford Official Plan designation of the land:

11. Existing Village of Merrickville-Wolford Zoning of the land:

C-1-1 COMMERCIAL

12. Existing County Official Plan Designation:

13. Other applications submitted with this application:

Official Plan Amendment ☐ Consent ☐ Zoning ☐ Plan Of Subdivision ☐

14. Have the subject lands every been the subject of an application for an official plan amendment, zoning amendment, minor variance or site plan control?

Yes ☐ (please provide details below) No ☒

15. Existing use of subject property and length of time this use has continued on the subject property if known please provide length of time that the existing use has continued:

~20 YEARS

16. Description of all buildings and structures on or proposed for the subject lands (specify ground floor area, gross floor area, number of storeys, width, length, height of buildings as well as distance from side, rear and front lot lines):

Existing: HOUSE/STORE - 1440 SF, 30'x48', 1 1/2 STOREYS, 0 FT FROM FRONT + SIDE LOT LINES
SHED - 250 SF, 10'x25', 1 STOREY, 2' FROM SIDE LOT LINE
BUNKIE - 350 SF, 14'x25', 1 STOREY, 8' FROM SIDE LOT LINE
GARAGE - 792 SF, 24'x33', 1 STOREY, 6' " " " "

Proposed: PREFAB WOOD SHED, 768 SF, 24'x32'
AT BACK OF PROPERTY, ADJOINING EXISTING GARAGE

17. Date of construction of all buildings and structures on subject lands:

HOUSE 1827
SHED UNKNOWN
BUNKIE 2009
GARAGE 2004

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THE CORPORATION OF THE VILLAGE OF MERRICKVILLE-WOLFORD

- 18 Does this application require demolition of an existing building? Yes ☐ No ☒
- If yes, please specify: _____

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19. Number of Parking Spaces
Number of Existing: 4 Number of Proposed: SAME

20. Type of access to the lands and name of road:

Provincial Highway	_____	County Road	_____
Year-Round Municipal Road	<u>DRUMMOND ST E</u>	Seasonal Municipal Road	_____
Unopened Road Allowance	_____	Private Right-of-Way	_____
Water Access	_____	Other, please specify	_____

21. Services currently available, or to be available:

	Municipal Water	Communal Water	Private Water	Municipal Sewers	Communal Sewers	Private Septic
Existing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Proposed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

22. Are Stormwater Sewers present? Yes ☒ No ☐ Proposed ☐

23. Are there any of the following uses or features on the subject lands or within 500 metres of the subject property? NO

Use or Feature	On a Subject Land?	Within 500 m of Subject Land?
An agriculturally designated area		
A livestock facility (ie. Barn) or manure storage facility		
A landfill site (active or closed)		
A sewage treatment plant/lagoon		
An industrial use		
A licensed pit or quarry or an area designated for aggregate extraction		
A mining hazard		
An active railway line		
A flood plain or other natural hazard		
A natural gas or oil pipeline		
A hydro easement		
A contaminated site		
A well head protection zone		
A provincially significant wetland		
An area of natural and scientific interest (ANSI)		
Fish/Wildlife Habitat		
A designated heritage property		

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THE CORPORATION OF THE VILLAGE OF MERRICKVILLE-WOLFORD

A well head protection zone

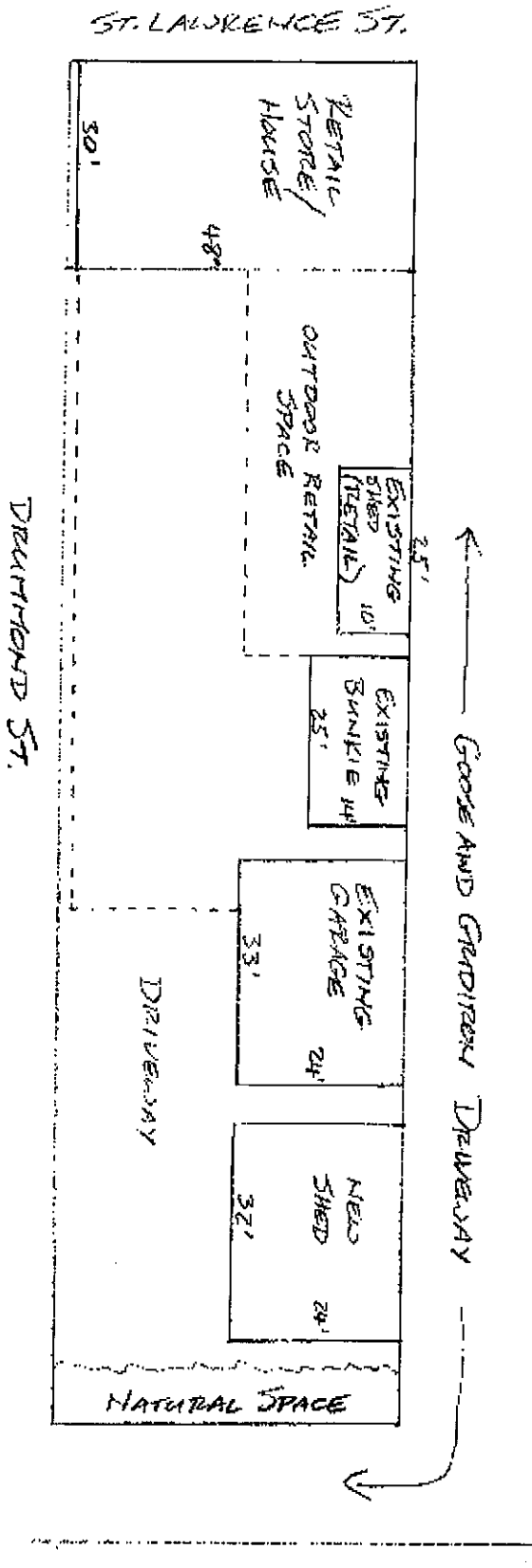
A provincially significant wetland

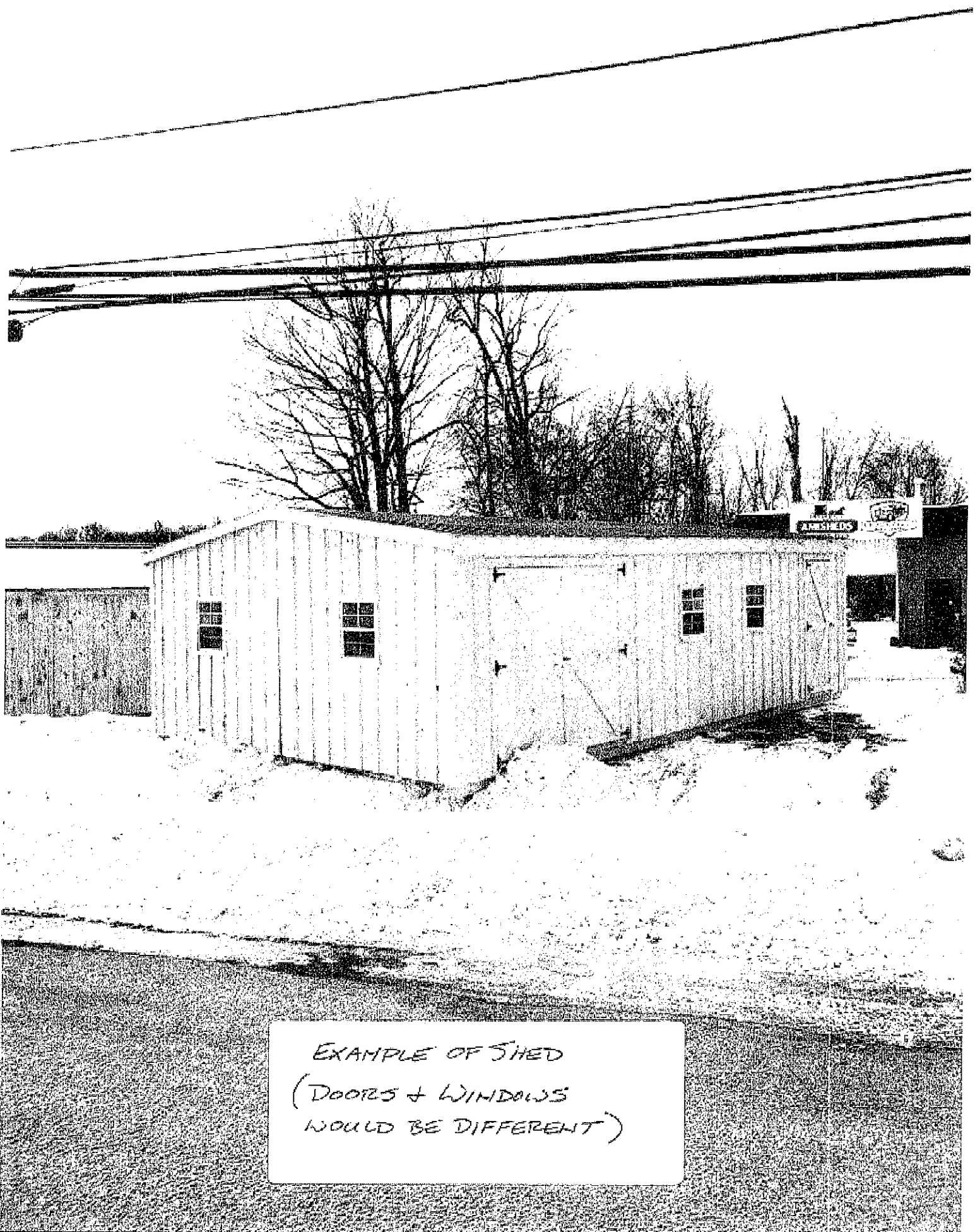
An area of natural and scientific interest (ANSI)

Fish/Wildlife Habitat

A designated heritage property

323 ST. LAWRENCE ST.







VILLAGE OF MERRICKVILLE- WOLFORD

Notice of Public Hearing Application for Minor Variance File No. A-04-2021

Section 45(1) of the Planning Act, 1990

IN THE MATTER of an application for addition of an accessory structure with respect to the following:

Name of Owner(s): Winston & Lisa Card
Location of Property: 323 St. Lawrence Street, Village of Merrickville-Wolford,
Lot 46 Plan 6

TAKE NOTICE that an application under the above file number will be heard by the Committee of Adjustment on the date and time and at the location shown below:

Date and Time: Thursday, April 8, 2021 at 6:00 p.m.
Location: Merrickville Community Centre, 106 Read Street, Merrickville, ON

Purpose of Application:

The application requests relief from Sect 3.2.4 of the Merrickville-Wolford Zoning By-Law 23-08, as amended, to add a new accessory structure on the subject property. Specifically, the request is to allow a new custom (double) shed with dimensions 7.3 m x 9.8 m (24' x 32') to be placed beside the existing garage on the noted property, which currently exceeds the maximum 10% lot area coverage allowance for accessory structures, per zoning by-law.

Official Plan (current and adopted): Core Area, Special Heritage Policy Area 2
Zoning: General Commercial – Exception Zone (C1-1)

Additional information relating to the proposed minor variance is available for inspection on the Village Website at www.merrickville-wolford.ca or by email request to deputyclerk@merrickville-wolford.ca.

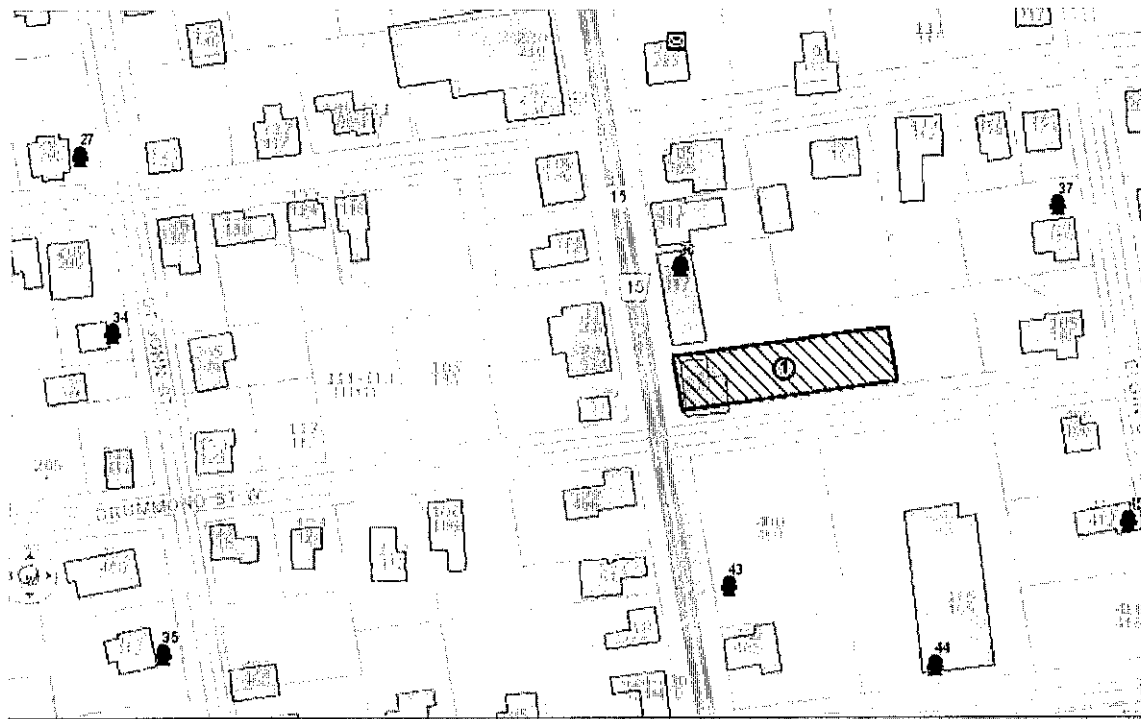
Any person may make written representation in support of or in opposition to the proposal. Written comments shall be submitted to the Clerk by mail to P.O. Box 340, Merrickville, K0G 1N0, or by email to deputyclerk@merrickville-wolford.ca no later than 4:30 p.m. on April 7, 2021. Please refer to file number above in all communications. Written submissions will be provided to the members of the Committee of Adjustment in advance of the meeting, if possible. The Clerk will verbally read out written deputations during the meeting at the time the application is considered. You are entitled to attend this public hearing in person.

If a person or public body that files an appeal of a decision of the Committee of Adjustment in respect of the proposed Minor Variance, does not make written submissions to the Committee of Adjustment before a decision is made, the Local Planning Appeal Tribunal may dismiss the appeal. If you wish to be notified of the decision of the Committee of Adjustment in respect to the proposed Minor Variance, you must make written request to the above address.

Dated this 23rd day of March 2021
Doug Robertson, CAO/Clerk

Key Map

323 St. Lawrence Street, Village of Merrickville-Wolford, outlined in red below.





Jp2g Consultants Inc.

ENGINEERS • PLANNERS • PROJECT MANAGERS

12 International Drive, Pembroke, ON, K8A 6W6
T 813-735-2597, F 813-735-4513, www.jp2g.com

March 29, 2021

Village of Merrickville-Wolford
317 Brock Street West
P.O. Box 340
Merrickville, ON K0G 1N0

Attention: Doug Robertson, CAO/Clerk

Re: Planning Report: Minor Variance A-04-2021 (Card)
323 St. Lawrence Street, Lot 46 South of River, Plan 6
Village of Merrickville-Wolford
Our File No. 20-7059A

Please accept the following Planning Report summarizing the nature and effect of the minor variance application before the Committee of Adjustment for 323 St. Lawrence Street. The Report also summarizes relevant planning policy and provides a professional planning opinion on the merits of the application.

Purpose and Effect

The application requests relief from Sect 3.2.4 of the Merrickville-Wolford Zoning By-Law 23-08, as amended, to add a new accessory structure on the subject property. Specifically, the request is to allow a new custom (double) shed with dimensions 7.3 m x 9.8 m (24' x 32') to be placed beside the existing garage on the noted property, which currently exceeds the maximum 10% lot area coverage allowance for accessory structures, per zoning by-law.

Currently, the subject property has three existing accessory structures on the property which represent approximately 14% lot coverage. The proposal to add an additional warehousing accessory structure will result in the accessory structure lot coverage of 22%.

Description of Development

The applicant owns the downtown commercial subject property which is currently occupied by a 133 m² (1,440 ft²) commercial storefront building. In addition, there are three accessory structures on the site totaling 129 m² (1,393 ft²) in area. The proposal is to add an additional 71.3 m² (768 ft²) of accessory warehousing to the rear (eastern end) of the property.

Site and Surrounding Land Use

The subject property is located within the downtown commercial core of the Village of Merrickville, at the corner of St. Lawrence Street and Drummond Street. The property has 15.24 m (50 ft) of frontage on St. Lawrence Street and 60.96 m (200 ft) of frontage on Drummond Street. The property is occupied by the storefront commercial building fronting on St. Lawrence Street and three accessory structures which run along the frontage along Drummond Street. The proposal is to add a fourth accessory structure at the far eastern end of the lands, fronting on Drummond Street. The existing development is on full municipal services (Map 1).



The surrounding land use consists of mix of downtown commercial and residential uses. Directly to the north of the subject property is 317 St. Lawrence Street which is a downtown commercial building. The rear yard parking lot for 317 St. Lawrence is located directly to the north of the portion of the subject property occupied by the existing and proposed accessory structures. The access to the rear yard parking lot of 317 St. Lawrence Street is at the eastern end of the subject property.

Directly to the east of the subject property is the lane to access the parking lot for 317 St. Lawrence Street. Further to the east you enter an established residential neighbourhood occupied primarily by single detached dwellings. Directly to the south of the subject property is the community cenotaph and a residential apartment building. Directly to the west of the subject property are additional downtown commercial storefronts.

Existing Official Plan and Zoning

The subject property is designated "Core Area" in the Village of Merrickville-Wolford Official Plan (2006). This designation permits a wide range of retail, service commercial uses as well as residential and institutional uses. Section 3.10.2 of the Official Plan sets out the policies for consideration of minor variance requests. The policies read:

- "1. Section 45 of the Planning Act concerns applications to the Committee of Adjustment. The Committee may authorize minor variances from the provisions of the Zoning By-law, provided the minor variance(s) is desirable for the appropriate development or use of the land building or structure, and provided the general intent and purpose of the Official Plan and Zoning By-law are maintained.
2. Where a minor variance is sought on a lot which is a waterfront lot, the minor variance generally should not further reduce a deficient waterbody setback. Further, the Committee may require, as a condition of granting the minor variance, that natural shorelines and native vegetation within the waterfront setback be re-established along those portions of the shoreline which are not used for marine facilities or access to the water."

The Village of Merrickville-Wolford Zoning By-law 23-08 zones the subject property "General Commercial Exception 1 (C1-1)". The C1-1 zone enjoys the full range of commercial and residential uses. The Exception 1 provisions eliminate the need for the provision of parking associated with the use of the property.

The C1-1 zoning of the property requires that a 1.5 m (5 foot) rear yard be established where the commercial zone abuts a residential zone. It is important to understand that the eastern lot line of the subject property abuts the "C1" zoned laneway of 317 St. Lawrence Street and does not abut a residential zone.

Section 3.2 of the Zoning By-law sets out the provisions for accessory structures. Specific to lot coverage, Section 3.2.4 states that for buildings or structures accessory to non-residential uses that "the total lot coverage of all accessory buildings or structures shall not exceed 10% of the lot area."



Currently, the subject lands have accessory structures totaling 13.9% lot coverage. With the proposed additional accessory structure, the lot coverage would increase to 21.6%, thus triggering the need for consideration by the Committee of Adjustment.

Comments

No comments of concern or objection were received at the writing of this report.

The LLGDHU comments noted that the "lot appears to be on Municipal services. The Leeds, Grenville and Lanark District Health Unit has no objection to granting the proposed Minor Variance."

Planning Opinion – Four Test for Minor Variance

As expressed in the Village Official Plan, the Ontario Planning Act sets out four tests in the consideration of Minor Variance applications:

1. Does the development proposed maintain the general intent of the Official Plan?
2. Does the development proposed maintain the general intent of the Zoning By-law?
3. Is the variance desirable for the appropriate development or use of the land?
4. Is the variance requested minor?

The following is a review of these four tests against the requested reduction in the minimum accessory structure lot coverage.

Test 1: Official Plan

The Village of Merrickville-Wolford clearly supports the commercial use of the subject lands. Provided the minor variance application can satisfy the four tests, the proposed development is deemed to conform to the Official Plan.

The proposed Minor Variance maintains the general intent and purpose of the Village Official Plan.

Test 2: Zoning By-law

The Village of Merrickville-Wolford Zoning By-law 23-08 identifies the property as being zoned for downtown commercial, residential and institutional uses. The only provisions of the Zoning By-law not satisfied is Section 3.2.4 lot coverage of accessory structures.

The intent of the accessory structure lot coverage provision is to ensure the principle use of the property remains dominant and to ensure the property does not become overly cluttered. In this case the property is located within the Core Area of the community which promotes 0' lot line setbacks and the highest concentration of development within the Village.

Currently, the amount of square footage of the principal structure and the accessory structures is roughly equal. The additional warehousing accessory structure will make the accessory structure of a greater square footage than the main retail store. Provided that the use of the additional accessory structure is limited to warehousing and clearly supports the principal use of the property, it is felt that the additional accessory structure will not undermine the dominance of



the retail storefront of the property. The existing and proposed accessory structures are located in an orderly fashion on the property and do not represent a cluttered look (Map 2).

In general, the proposed development maintains the intent and purpose of the Zoning By-law.

The proposed Minor Variance maintains the general intent and purpose of the Village Zoning By-law.

Test 3: Desirable for the Appropriate Development or Use of the Land

The warehousing space to support the existing storefront commercial business on the property is desirable and an appropriate use of the land and is consistent with the compact nature of the downtown commercial core.

The development is deemed desirable.

The proposed Minor Variance is desirable for the appropriate development of the subject land.

Test 4: Variance is Minor

The impact of the additional accessory structure will be minor in terms of its impact. It is not anticipated that there will be a negative impact on any of the surrounding uses. All setbacks can be accommodated.

The proposed Minor Variance is minor in terms of its impact.

For these reasons, it is my opinion that the proposed Minor Variance to permit an additional accessory structure on the subject property, resulting in an accessory structure total lot coverage of 22% meets the four tests set out in the Planning Act and represents good land use planning.

Sincerely,

Jp2g Consultants Inc.

ENGINEERS • PLANNERS • PROJECT MANAGERS

Respectfully submitted:

A handwritten signature in black ink, appearing to read 'F. Symon'.

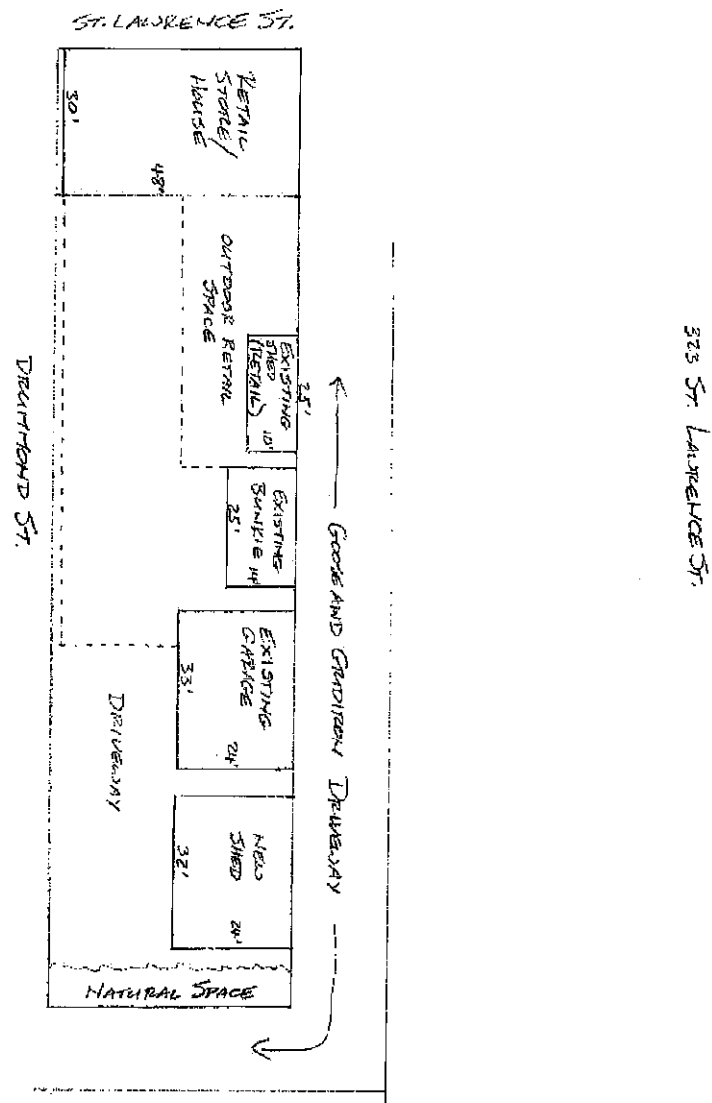
Forbes Symon, MCIP, RPP
Senior Planner

Map 1: Location of Subject Property





Map 2: Reconstruction Plan of Subject Property



Christina Conklin

From: MacNeil, Ben <Ben.MacNeil@healthunit.org>
Sent: Tuesday, March 30, 2021 1:58 PM
To: Economic Development Officer
Subject: RE: Merrickville-Wolford Minor Variance Hearing April 8/21 - 4 applications
Attachments: image001.jpg

Hello Stacie,

Please find comments below for the upcoming Committee of Adjustment meeting.

A-01-2021: Based on the information available the proposed renovation would not result in a change to the Total Daily Design Flow for the septic system. The Leeds, Grenville and Lanark District Health Unit has no objection to granting the proposed Minor Variance.

A-03-2021: Based on the information available the proposed renovation will not result in a change to the Total Daily Design flow for the septic system. The Leeds, Grenville and Lanark District Health Unit has no objection to granting the proposed Minor Variance.

A-04-2021: This lot appears to be on Municipal services. The Leeds, Grenville and Lanark District Health Unit has no objection to granting the proposed Minor Variance.

A-05-2021: Based on the information available the proposed renovation will not result in a change to the Total Daily Design flow for the septic system. The Leeds, Grenville and Lanark District Health Unit has no objection to granting the proposed Minor Variance.

Regards,

Ben MacNeil
Public Health Inspector
Leeds, Grenville and Lanark District Health Unit.
613-345-5685

Sent from my Galaxy

----- Original message -----

From: Economic Development Officer <edo@merrickville-wolford.ca>
Date: 2021-03-24 12:43 PM (GMT-05:00)
To: "Carpenter, Nancy" <Nancy.Carpenter@healthunit.org>, "MacNeil, Ben" <Ben.MacNeil@healthunit.org>
Subject: FW: Merrickville-Wolford Minor Variance Hearing April 8/21 - 4 applications

Hi Nancy/Ben,

We have a few upcoming Minor Variance Applications scheduled for Committee of Adjustment Hearing on Apr 8 at 6 pm in Merrickville – Hearing Notices are attached, which provide a description of the proposed projects. I will send you all documents related to the minor variances (applications, drawings, site plan sketch, etc) with request for the health unit to provide comments where relevant.

File # A-01-2021 (SWAN) – 235 Boyds Landing Lane * File # A-03-2021 (DEV/FEENSTRA) – 330 Broadway St West * File # A-04-2021 (CARD) – 323 St Lawrence St File # A-05-2021 (HUESTIS) – 317 Main St East *

*We are expecting reports from RVCA on these ones this week, let me know if you would like me to send you a copy of the report.

Is it possible to receive your comments by March 30?

Many thanks, if you'd like to discuss, today I am at 613-324-5387, and tomorrow & Friday at the number below.

Stacie

Stacie Lloyd
Economic Development Officer

Village of Merrickville-Wolford
317 Brock St W, Box 340
Merrickville ON K0G 1N0
Phone (613) 269-4791 Ext 242
edo@merrickville-wolford.ca<<mailto:edo@merrickville-wolford.ca>>

[MWlogocol-1 - very small]

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		Date Req'd
Information Purposes		
Policy / Action Req'd		
Strategic Plan		

STAFF REPORT TO Committee of Adjustment Merrickville-Wolford

April 8, 2021

From: Shawn Merriman

RE: Building Department Insight re: Construction issues 323 St. Lawrence Street
File Number A-04-2021

Recommendation: Report for information purposes only and consideration by the members of the Committee of Adjustment.

Issue 1: The building department can confirm that in general there is no reason this construction can not be used for the purpose expected by the owners. However, there was no clear distance provided on the application submitted between the garage and this new structure. Please note that for fire prevention and life safety it either need to be a minimum of 6' between the structures or steps taken to prevent fire spread (non-combustible separation (examples could be drywall, special paint etc.)). Windows could also have an effect on the amount of protection needed.

Issue 2: The building department wishes to remind the applicants that services including hydro, water etc. were not indicated on the submission and that it imperative for them to consider when determining shed placement as many of these services will not allow for a building to be placed over or under the service.

Application proponents note: Please note that the department found the applicants to be polite and understanding about their issues in relation to this lot. When informed of a need for a minor variance they quickly and efficiently submitted an application and were polite and interested in doing things the correct way. This department has no concerns about any conditions applied in allowing this project to commence in being carried out. Hence no request for additional fees of deposit as a condition of the decision.

		Date Req'd
Information Purposes		
Policy / Action Req'd		
Strategic Plan		

Conditions asked to be considered: Specific to Issue number 1 that either a minimum distance be provided between the building or that construction will need to have mitigation steps taken for fire safety.

Shawn Merriman CBCO, RASDT, WETT
Building Official Merrickville-Wolford

A-05-2021

Application for a Permit to Construct or Demolish

This form is authorized under subsection 8(1.1) of the Building Code Act, 1992

For use by Principal Authority			
Application number:		Permit number (if different):	
Date received: RECEIVED MAR 22 2021		Roll number:	
Application submitted to: <u>Mayor of Merrickville - Wolford</u> (Name of municipality, upper-tier municipality, board of health or conservation authority)			
A. Project information			
Building number, street name <u>317 Main Street East</u>		Unit number	Lot/con.
Municipality <u>Merrickville - Wolford</u>	Postal code <u>K0G 1N0</u>	Plan number/other description	
Project value est. \$ <u>\$15,600</u>		Area of work (m ²) <u>Basement & Deck on back of House</u>	
B. Purpose of application			
<input type="checkbox"/> New construction	<input checked="" type="checkbox"/> Addition to an existing building	<input type="checkbox"/> Alteration/repair	<input type="checkbox"/> Demolition
<input type="checkbox"/> Conditional Permit			
Proposed use of building <u>SFD</u>		Current use of building <u>SFD</u>	
Description of proposed work <u>• Finish basement area 13 x 27 ft - man cave</u> <u>• Place Deck on Back of house to enjoy water view 10 x 14</u>			
C. Applicant			
Applicant is: <input type="checkbox"/> Owner or <input type="checkbox"/> Authorized agent of owner			
Last name <u>Huestis</u>		First name <u>Andrew</u>	
Street address <u>317 Main St East</u>		Unit number	Lot/con.
Municipality <u>Merrickville - Wolford</u>	Postal code <u>K0G 1N0</u>	Province <u>Ontario</u>	E-mail
Telephone number	Fax	Cell number <u>613-371-0819</u>	
D. Owner (if different from applicant)			
Last name <u>Same</u>		First name <u>Same</u>	
Street address <u>Same</u>		Unit number	Lot/con.
Municipality <u>Same</u>	Postal code <u>Same</u>	Province <u>Same</u>	E-mail <u>Same</u>
Telephone number <u>Same</u>	Fax	Cell number <u>Same</u>	

E. Builder (optional)				
Last name EAGLE		First name RON		Corporation or partnership (if applicable)
Street address 912 St Lawrence St			Unit number	Lot/con.
Municipality Metrickville		Postal code K0G 1N0	Province ON	E-mail
Telephone number		Fax		Cell number
F. Taron Warranty Corporation (Ontario New Home Warranty Program)				
i. Is proposed construction for a new home as defined in the <i>Ontario New Home Warranties Plan Act</i> ? If no, go to section G.			<input type="checkbox"/> Yes	<input type="checkbox"/> No
ii. Is registration required under the <i>Ontario New Home Warranties Plan Act</i> ?			<input type="checkbox"/> Yes	<input type="checkbox"/> No
iii. If yes to (ii) provide registration number(s):				
G. Required Schedules				
i) Attach Schedule 1 for each individual who reviews and takes responsibility for design activities.				
ii) Attach Schedule 2 where application is to construct on-site, install or repair a sewage system.				
H. Completeness and compliance with applicable law				
i) This application meets all the requirements of clauses 1.3.1.3 (5) (a) to (d) of Division C of the <i>Building Code</i> (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted). Payment has been made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the <i>Building Code Act, 1992</i> , to be paid when the application is made.			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
ii) This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> .			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
iii) This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law.			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
iv) The proposed building, construction or demolition will not contravene any applicable law.			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
I. Declaration of applicant				
I, <u>Andrew Huestis</u> (print name) declare that:				
1. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge.				
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.				
March 2021		Andrew Huestis		
Date		Signature of applicant		

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor, Toronto, M5G 2E5 (416) 585-6666.

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

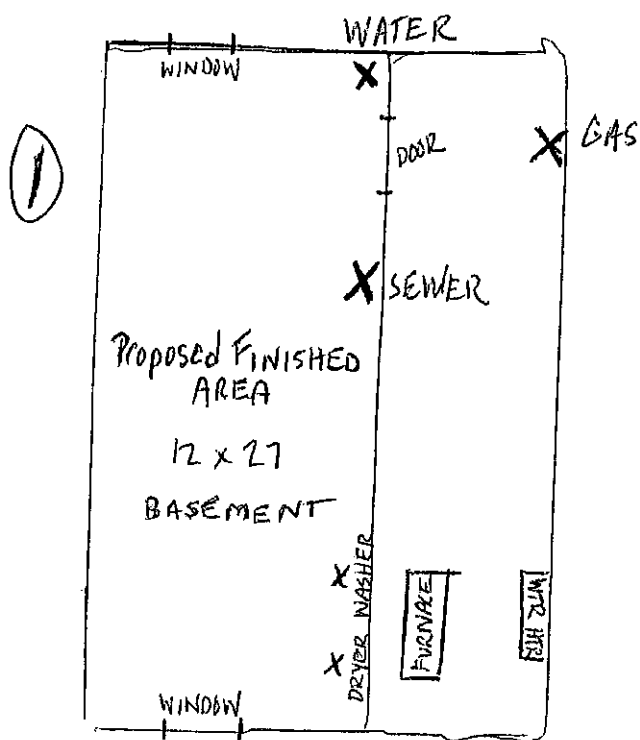
A. Project Information															
Building number, street name <u>317 Main Street East</u>		Unit no.	Lot/con.												
Municipality <u>Merrideville</u>	Postal code <u>K0G 1N0</u>	Plan number/ other description													
B. Individual who reviews and takes responsibility for design activities															
Name		Firm													
Street address		Unit no.	Lot/con.												
Municipality	Postal code	Province	E-mail												
Telephone number	Fax number	Cell number													
C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]															
<table style="width: 100%; border: none;"> <tr> <td><input type="checkbox"/> House</td> <td><input type="checkbox"/> HVAC – House</td> <td><input type="checkbox"/> Building Structural</td> </tr> <tr> <td><input type="checkbox"/> Small Buildings</td> <td><input type="checkbox"/> Building Services</td> <td><input type="checkbox"/> Plumbing – House</td> </tr> <tr> <td><input type="checkbox"/> Large Buildings</td> <td><input type="checkbox"/> Detection, Lighting and Power</td> <td><input type="checkbox"/> Plumbing – All Buildings</td> </tr> <tr> <td><input type="checkbox"/> Complex Buildings</td> <td><input type="checkbox"/> Fire Protection</td> <td><input type="checkbox"/> On-site Sewage Systems</td> </tr> </table>				<input type="checkbox"/> House	<input type="checkbox"/> HVAC – House	<input type="checkbox"/> Building Structural	<input type="checkbox"/> Small Buildings	<input type="checkbox"/> Building Services	<input type="checkbox"/> Plumbing – House	<input type="checkbox"/> Large Buildings	<input type="checkbox"/> Detection, Lighting and Power	<input type="checkbox"/> Plumbing – All Buildings	<input type="checkbox"/> Complex Buildings	<input type="checkbox"/> Fire Protection	<input type="checkbox"/> On-site Sewage Systems
<input type="checkbox"/> House	<input type="checkbox"/> HVAC – House	<input type="checkbox"/> Building Structural													
<input type="checkbox"/> Small Buildings	<input type="checkbox"/> Building Services	<input type="checkbox"/> Plumbing – House													
<input type="checkbox"/> Large Buildings	<input type="checkbox"/> Detection, Lighting and Power	<input type="checkbox"/> Plumbing – All Buildings													
<input type="checkbox"/> Complex Buildings	<input type="checkbox"/> Fire Protection	<input type="checkbox"/> On-site Sewage Systems													
Description of designer's work															
D. Declaration of Designer															
I <u>Andrew Huestis</u> declare that (choose one as appropriate): (print name)															
I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.															
Individual BCIN: _____															
Firm BCIN: _____															
I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.															
Individual BCIN: _____															
Basis for exemption from registration: <u>owner design - owner renovation</u>															
The design work is exempt from the registration and qualification requirements of the Building Code.															
Basis for exemption from registration and qualification: _____															
I certify that:															
1. The information contained in this schedule is true to the best of my knowledge. 2. I have submitted this application with the knowledge and consent of the firm.															
Date		Signature of Designer <u>Andrew Huestis</u>													

NOTE:

1. For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
2. Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

Schedule 2: Sewage System Installer Information

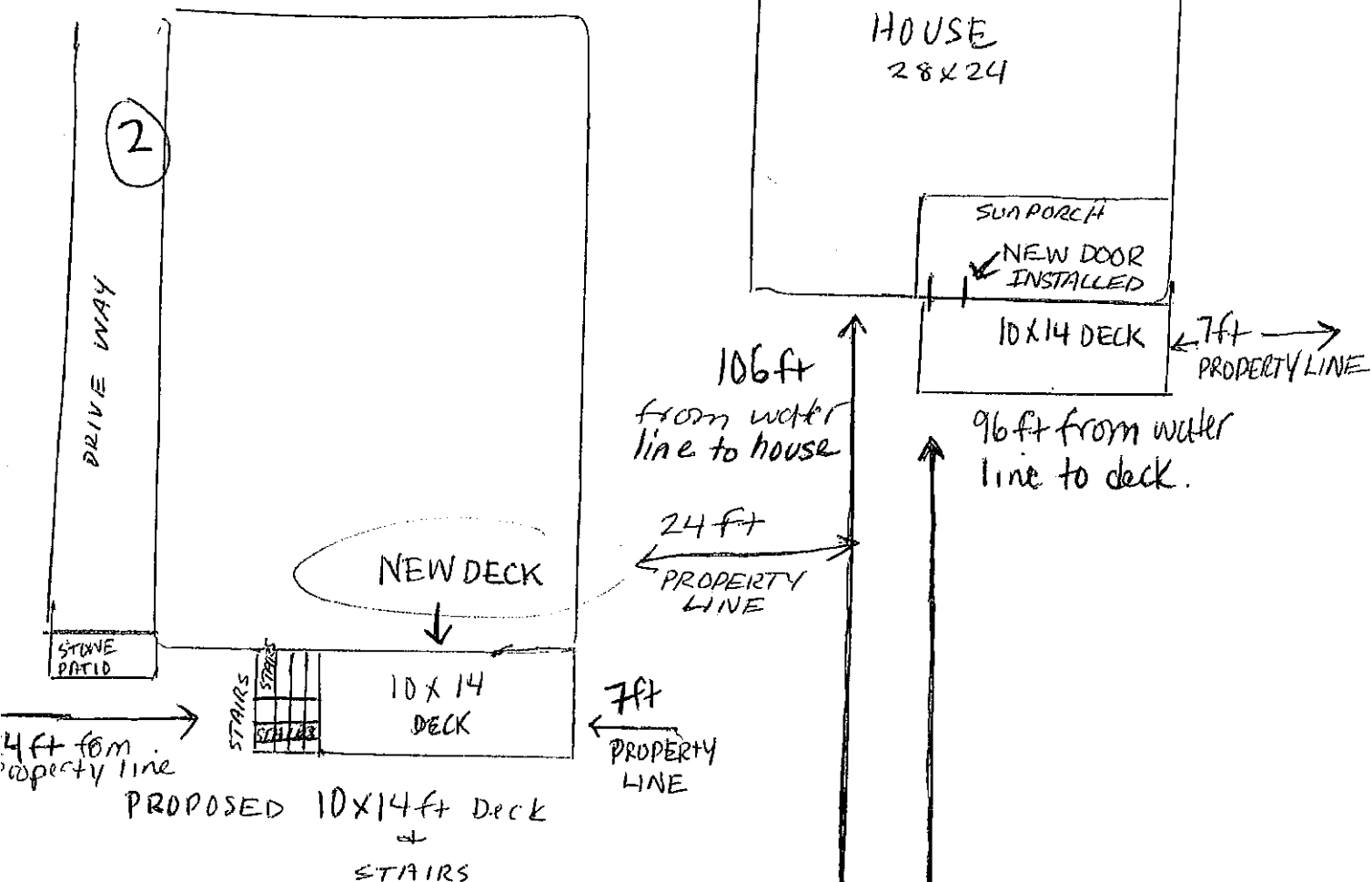
A. Project Information			
Building number, street name		Unit number	Lot/con.
Municipality	Postal code	Plan number/ other description	
B. Sewage system installer			
Is the installer of the sewage system engaged in the business of constructing on-site, installing, repairing, servicing, cleaning or emptying sewage systems, in accordance with Building Code Article 3.3.1.1, Division C?			
<input type="checkbox"/> Yes (Continue to Section C)		<input type="checkbox"/> No (Continue to Section E)	
		<input type="checkbox"/> Installer unknown at time of application (Continue to Section E)	
C. Registered installer information (where answer to B is "Yes")			
Name		BCIN	
Street address		Unit number	Lot/con.
Municipality	Postal code	Province	E-mail
Telephone number	Fax	Cell number	
D. Qualified supervisor information (where answer to section B is "Yes")			
Name of qualified supervisor(s)		Building Code Identification Number (BCIN)	
E. Declaration of Applicant:			
<p>I _____ declare that:</p> <p style="text-align: center;">(print name)</p> <p>I am the applicant for the permit to construct the sewage system. If the installer is unknown at time of application, I shall submit a new Schedule 2 prior to construction when the installer is known;</p> <p><u>OR</u></p> <p>I am the holder of the permit to construct the sewage system, and am submitting a new Schedule 2, now that the installer is known.</p> <p>I certify that:</p> <ol style="list-style-type: none"> 1. The information contained in this schedule is true to the best of my knowledge. 2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership. <p>_____</p> <p style="display: flex; justify-content: space-between;"> Date Signature of applicant </p>			



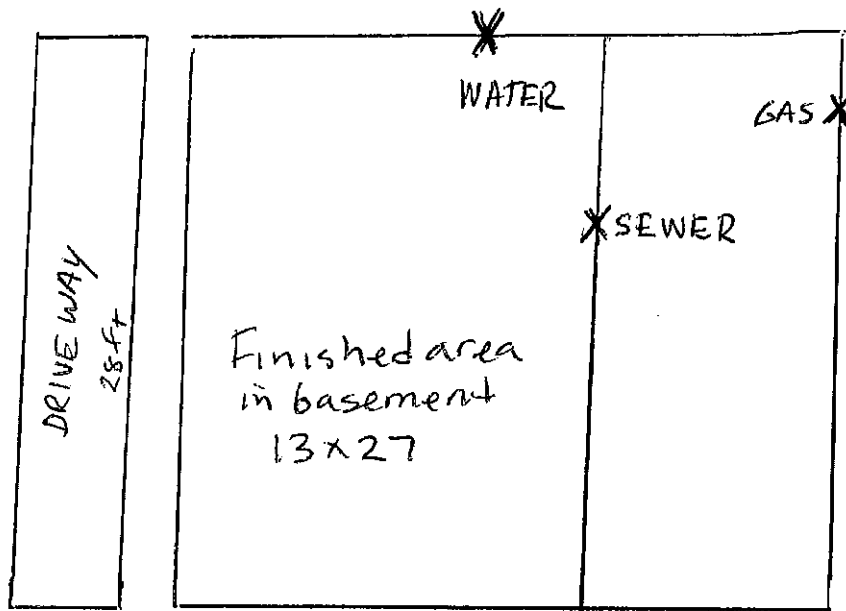
① Finish Basement 12x27

INSULATE CEILING
 INSULATE WALLS
 GYROCK CEILING & WALLS
 8 POT LIGHTS INSTALLED
 5 PLUGS INSTALLED
 VINYL FLOORING INSTALLED

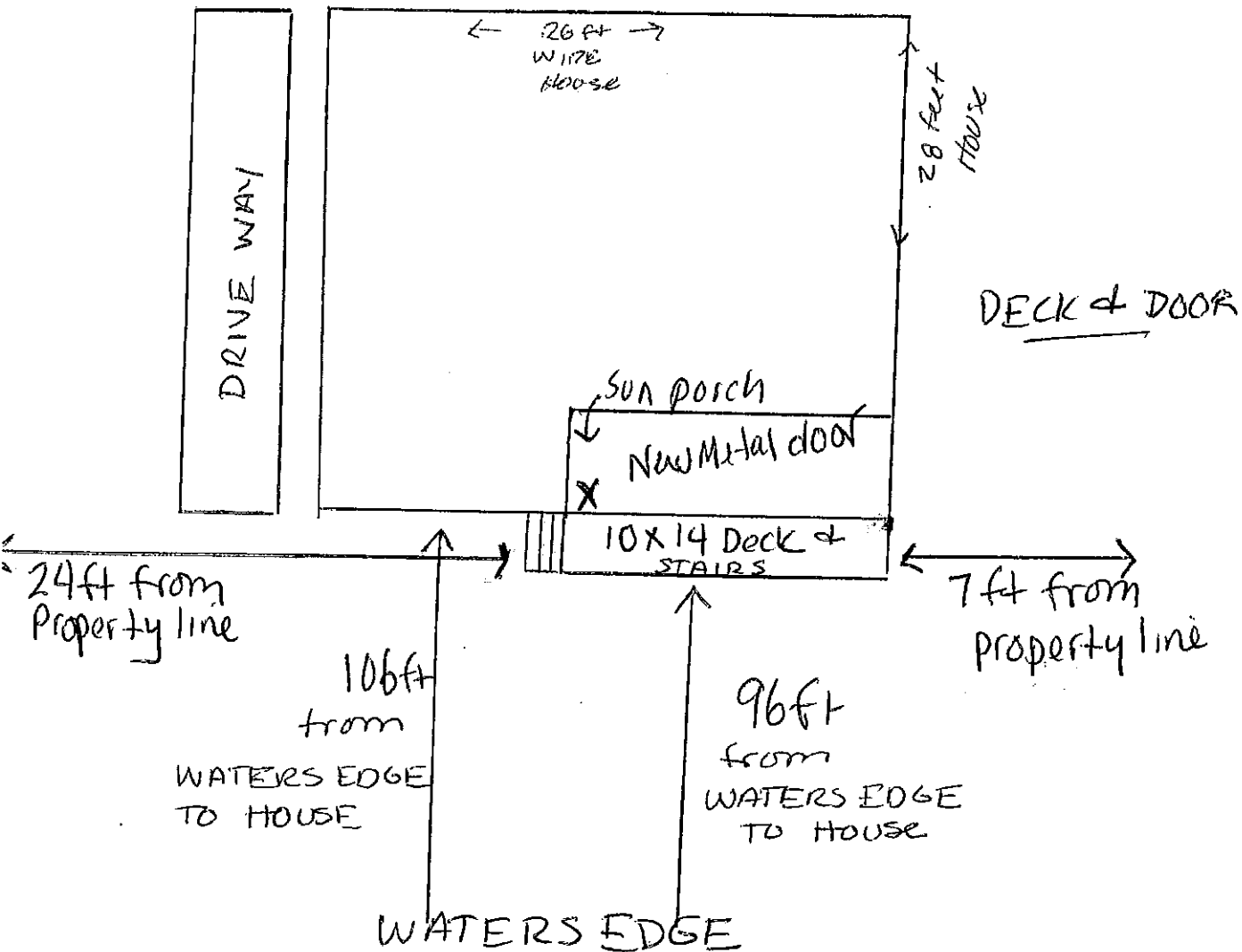
② INSTALL INSULATED METAL DOOR
 IN SUNPORCH
 BUILD 10X14 PRESSURE TREATED
 DECK



317 MAIN ST EAST



317 MAIN ST EAST



Established 1793
Incorporated
Wolford 1850
Merrickville 1860
Amalgamated 1998



Telephone (613) 269-4791
Facsimile (613) 269-3095

THE CORPORATION OF THE VILLAGE OF MERRICKVILLE-WOLFORD
Application for Minor Variance or Permission

FOR OFFICE USE ONLY

Date the Application was Received by the Village _____

1. Property Owner's Name: Andrew Hvestis
Address: 317 MAIN STREET
Postal Code: K0G-1N0
e-mail: _____
Telephone: Home: _____ Work: _____
Cell: _____ Fax: _____
2. Applicant/Agent Name: Andrew Hvestis
Address if different from Owner: _____
Postal Code: _____
e-mail: _____
Telephone: Home: _____ Work: _____
Cell: _____ Fax: _____
3. Name and address of any mortgages, holders of charges or other encumbrances of the subject lands:
Royal Bank Merrickville
4. Legal Description of Property: Former Municipality _____
LOT 6 Plan 6 PIN 68107-0183
Lot(s): _____ Concession: _____
Lot(s): _____ Registered Plan: _____
Part(s): _____ Reference Plan: _____
Street Address: 317 Main St East Merrickville
Roll Number: 07147140158300 Survey Attached: Yes ☒ No ☐
5. Are there any easements or restrictive covenants affecting the subject property? Yes ☒ No ☐
6. If yes, please describe the easement or covenant:

7. Dimensions of lands affected: Frontage: 50
50x90 Depth: 90
waterfront Area: 0.2 acre
Width of Street: _____
8. Nature and extent of relief applied for: Off of our back porch Building a 10 x 14 Deck and stairs, They will be 96 feet from the waters edge. Suppose to be 100 ft from waters edge,

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THE CORPORATION OF THE VILLAGE OF MERRICKVILLE-WOLFORD

9. Why is it not possible to comply with the provisions of the By-Law?

The deck will be 96 ft from waters edge. It supposed to be 100 ft from waters edge.

10. Existing Village of Merrickville-Wolford Official Plan designation of the land:

Residential

11. Existing Village of Merrickville-Wolford Zoning of the land:

type 1 RA

12. Existing County Official Plan Designation:

Residential

13. Other applications submitted with this application:

Official Plan Amendment ☐

Consent ☐

Zoning ☐

Plan Of Subdivision ☐

14. Have the subject lands ever been the subject of an application for an official plan amendment, zoning amendment, minor variance or site plan control?

Yes ☐ (please provide details below) No ☐

not sure

15. Existing use of subject property and length of time this use has continued on the subject property if known please provide length of time that the existing use has continued:

*Single Family Dwelling
built in 1890*

16. Description of all buildings and structures on or proposed for the subject lands (specify ground floor area, gross floor area, number of storeys, width, length, height of buildings as well as distance from side, rear and front lot lines):

26x28 ft Single Family Dwelling on a 50 wide x 90 deep lot. Deck on back of house 10x14 - 96 ft from waters edge. Deck will be 24 ft from East side property line & 7 ft from West property line.

Existing:

house only

Proposed:

10x14 Deck built off sunporch back of house

17. Date of construction of all buildings and structures on subject lands:

1890

18. Does this application require demolition of an existing building?

Yes ☐ No ☒

If yes, please specify:

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19. Number of Parking Spaces
Number of Existing: 2 Number of Proposed: _____

20. Type of access to the lands and name of road:

Provincial Highway	_____	County Road	<u>317 Main St East, County Rd 43</u>
Year-Round Municipal Road	<input checked="" type="checkbox"/>	Seasonal Municipal Road	_____
Unopened Road Allowance	_____	Private Right-of-Way	_____
Water Access	_____	Other, please specify	_____

21. Services currently available, or to be available:

	Municipal Water	Communal Water	Private Water	Municipal Sewers	Communal Sewers	Private Septic
Existing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Proposed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

22. Are Stormwater Sewers present? Yes ☒ No ☐ Proposed ☐

23. Are there any of the following uses or features on the subject lands or within 500 metres of the subject property?

Use or Feature	On a Subject Land?	Within 500 m of Subject Land?
An agriculturally designated area		
A livestock facility (ie. Barn) or manure storage facility		
A landfill site (active or closed)		
A sewage treatment plant/lagoon		
An industrial use		
A licensed pit or quarry or an area designated for aggregate extraction		
A mining hazard		
An active railway line		
A flood plain or other natural hazard		
A natural gas or oil pipeline		
A hydro easement		
A contaminated site		
A well head protection zone		
A provincially significant wetland		
An area of natural and scientific interest (ANSI)		
Fish/Wildlife Habitat	<u>yes</u>	
A designated heritage property		

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THE CORPORATION OF THE VILLAGE OF MERRICKVILLE-WOLFORD

MUST BE COMPLETED IN THE PRESENCE OF A "COMMISSIONER". THE MUNICIPAL CLERK IS AN AUTHORIZED COMMISSIONER.

I, Andrew Huestis of the Village of Merrickville-Wolford of Leeds + Grenville County, in the County of Leeds + Grenville, hereby solemnly declare that the information contained in this application are on the attached plan and any associated information submitted with this application are, to the best of my belief and knowledge, a true and complete representation of the purpose and intent of this application.

There is a minimum NON-REFUNDABLE fee of \$500.00 (Charges incurred or disbursements over this amount shall be charged to the applicant, plus the costs charged by outside agencies.)

Date: March 22 / 21

Signature of Owner: Andrew Huestis

Signature of Agent or Applicant: _____

DECLARED BEFORE ME AT THE Village of Merrickville-Wolford OF Leeds + Grenville IN THE County OF Leeds + Grenville, THIS 22 DAY OF March 2021

Kristen Rahm
Treasurer, Commissioner
The Village of Merrickville-Wolford

COMMISSIONER, ETC:

[Signature]

FREEDOM OF INFORMATION/ACCESS TO PROPERTY CONSENT OF OWNER

I, Andrew Huestis, being the registered owner of the lands subject of this application for minor variance, and for the purposes of the Freedom of Information and Protection of Privacy Act, hereby authorize and consent to the use by or the disclosure to any person or public body of any personal information that is collected under the authority of the Planning Act for the purposes of processing this application. I also authorize and consent to representatives of the Village of Merrickville-Wolford, and the persons and public bodies conferred with under Section 45 (5) of the Planning Act, entering upon the lands subject of this application for the purpose of conducting any site inspections as may be necessary to assist in the evaluation of this application.

March 22 / 21
Date

Andrew Huestis
Owner's Signature



Application for MINOR VARIANCE AMENDMENT

Declarations

I, Andrew Hvestz's being the registered property owner(s) of the property that is the subject of this application for Minor Variance Amendment, do hereby understand and consent to forthwith pay any and all additional costs associated with the processing of this application. Failure to do so will result in cancellation of processing the application and/or all fees may be added to the assessment rolls of the affected property.

Andrew Hvestz's
Owner (print name)

Andrew Hvestz
Signature

March 22/21
Date

March 22/21
Date



VILLAGE OF MERRICKVILLE-WOLFORD

**Notice of Public Hearing
Application for Minor Variance
File No. A-05-2021
Section 45(1) of the Planning Act, 1990**

IN THE MATTER of an application for extension of legal non-complying use with respect to the following:

Name of Owner(s): Jacqueline & Andrew Huestis
Location of Property: 317 Main Street East, Village of Merrickville-Wolford

TAKE NOTICE that an application under the above file number will be heard by the Committee of Adjustment on the date and time and at the location shown below:

Date and Time: Thursday, April 8, 2021 at 6:00 p.m.
Location: Merrickville Community Centre, 106 Read Street, Merrickville, ON

Purpose of Application:

The application requests relief from Merrickville-Wolford Zoning By-Law 23-08, as amended, to permit the construction of a deck size 3 m x 4.3 m (10' x 14') to be built on the North side of the dwelling unit, encroaching 1.2 m (4') into the 30 m (98.4') setback from water. The proposed project is within 30 m (98.4') of the river, outside the floodplain, and would result in the deck being 3 m (10') closer to the river than the existing dwelling unit.

Official Plan (current and adopted): Residential,
Special Heritage Policy Area 2
Zoning: Residential Type One (R1)

Additional information relating to the proposed minor variance is available for inspection on the Village Website at www.merrickville-wolford.ca or by email request to deputyclerk@merrickville-wolford.ca.

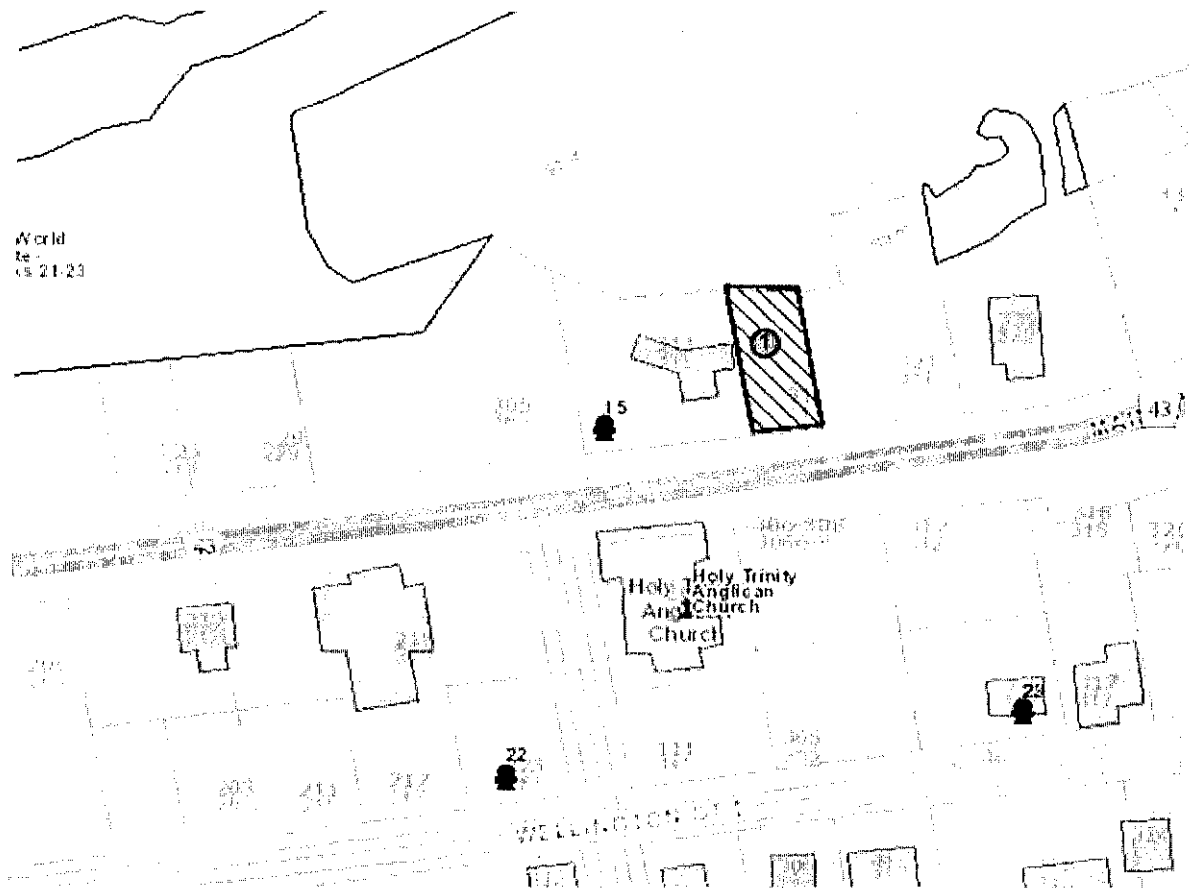
Any person may make written representation in support of or in opposition to the proposal. Written comments shall be submitted to the Clerk by mail to P.O. Box 340, Merrickville, K0G 1N0, or by email to deputyclerk@merrickville-wolford.ca no later than 4:30 p.m. on April 7, 2021. Please refer to file number above in all communications. Written submissions will be provided to the members of the Committee of Adjustment in advance of the meeting, if possible. The Clerk will verbally read out written deputations during the meeting at the time the application is considered. You are entitled to attend this public hearing in person.

If a person or public body that files an appeal of a decision of the Committee of Adjustment in respect of the proposed Minor Variance, does not make written submissions to the Committee of Adjustment before a decision is made, the Local Planning Appeal Tribunal may dismiss the appeal. If you wish to be notified of the decision of the Committee of Adjustment in respect to the proposed Minor Variance, you must make written request to the above address.

Dated this 23rd day of March 2021
Doug Robertson, CAO/Clerk

Key Map

317 Main Street East, Village of Merrickville-Wolford





Jp2g Consultants Inc.

ENGINEERS • PLANNERS • PROJECT MANAGERS

12 International Drive, Pembroke, ON, K8A 6W5
T 613-735-2507, F 613-735-4513, www.jp2g.com

March 29, 2021

Village of Merrickville-Wolford
317 Brock Street West
P.O. Box 340
Merrickville, ON K0G 1N0

Attention: Doug Robertson, CAO/Clerk

Re: Planning Report: Minor Variance A-05-2021 (Huestis)
317 Main Street East,
Village of Merrickville-Wolford
Our File No. 20-7059A

Please accept the following Planning Report summarizing the nature and effect of the minor variance application before the Committee of Adjustment for 317 Main Street East. The Report also summarizes relevant planning policy and provides a professional planning opinion on the merits of the application.

Purpose and Effect

The application requests relief from Merrickville-Wolford Zoning By-Law 23-08, as amended, to permit the construction of a deck size 3 m x 4.3 m (10' x 14') to be built on the North side of the dwelling unit, encroaching 0.74 m (2.4 feet) into the 30 m (98.4 foot) setback from water. The proposed project is within 30 m (98.4') of the river, outside the floodplain, and would result in the deck being 2.4 m (10') closer to the river than the existing dwelling unit.

Description of Development

The applicant owns the waterfront subject property which is currently occupied by a detached dwelling. The proposal is to construct a deck on the waterside of the existing dwelling. The dwelling is located roughly 32.3 m (106 feet) from the water's edge, in compliance with 30 setback requirement of the zoning by-law. The proposal is to add a 10' X 14' deck on the waterside of the existing dwelling, resulting in placing the deck 29.26 m (96 feet) from the water's edge.

Site and Surrounding Land Use

The subject property is located on the east side of the Village of Merrickville, on the south side of the Rideau River. The property has roughly 15.24 m (50 feet) of frontage on Main Street East and has a depth of 27.43 m (90 feet) extending from Main Street East to the Rideau River. The property is occupied by an existing single detached dwelling located outside of the 30 m water setback. The proposal is to construct a deck



on the waterside of the existing dwelling which would encroach 0.74 m (2.4 feet) into the 30 m water setback. (Map 1).

The surrounding land use consists of a mix of various residential densities, with single detached dwellings being the dominant form of residential use. There is a church directly to the southwest of the subject lands, as well as a multi-unit residential apartment. To the northwest of the subject lands is Parks Canada canal structure.

Existing Official Plan and Zoning

The subject property is designated "Residential" in the Village of Merrickville-Wolford Official Plan (2006). This designation permits a wide range of residential uses. Section 3.10.2 of the Official Plan sets out the policies for consideration of minor variance requests. The policies read:

- "1. Section 45 of the Planning Act concerns applications to the Committee of Adjustment. The Committee may authorize minor variances from the provisions of the Zoning By-law, provided the minor variance(s) is desirable for the appropriate development or use of the land building or structure, and provided the general intent and purpose of the Official Plan and Zoning By-law are maintained.
2. Where a minor variance is sought on a lot which is a waterfront lot, the minor variance generally should not further reduce a deficient waterbody setback. Further, the Committee may require, as a condition of granting the minor variance, that natural shorelines and native vegetation within the waterfront setback be re-established along those portions of the shoreline which are not used for marine facilities or access to the water."

The Village of Merrickville-Wolford Zoning By-law 23-08 zones the subject property "Residential Type One (R1)". The R1 zone permits single detached residential dwellings.

Section 3.27.2, Waterbody Setbacks states that "All buildings and structures, except a marina or a marine facility, shall be set back a minimum horizontal distance of 30 m (98.4 ft) from the normal high-water mark of a waterbody. Except for a marina, within the 30 m (98.4 ft) setback, a maximum of 25% or 15 m (49.2 ft) of the shoreline area, whichever is the lesser, may be used for marine facilities, pump houses, stairs, decks, patios, gazebos, and all other accessory structures. For the purposes of this Section, the shoreline area shall include that portion of the lot lying within 3 m (9.8 ft) of the shoreline."

Comments

The RVCA has provided written comments of no objection but did request conditions on the approval that include:



- Sediment and erosion controls between the construction area and the shoreline are to be installed prior to initiation of the work, to remain in place until the site has been allowed to regenerate and vegetation has been re-established to the satisfaction of the Township/Chief Building Official.
- Excavated materials will be disposed of well away from the lake, in excess of 30 metres.
- Roof runoff shall be collected and directed on-site and away from the lake to provide the greatest infiltration for surface runoff. Runoff should not be directly outlet towards the Rideau River.
- Regeneration of the waterfront/slope vegetative buffer with native vegetation cover is important on this site. Native plant cover will help to stabilize the waterfront, protect against nutrient and sediment load to the lake and reduce costly maintenance over the long term. We recommend that more native vegetation be planted over the frontage and particularly between the dwelling and the water. Allowance can be made for a modest pedestrian access path traversing this re-naturalization area to the water's edge. We recommend that the applicant contact the Shoreline Naturalization Program staff (Meaghan McDonald) at 1-800-267-3504 or 613-692-3571 to assist with additional site plantings along the shoreline to off-set the impacts of the addition to the Rideau River.
- Should any in-water or shoreline works or alterations be proposed, prior written approval from the Rideau Canal Office of Parks Canada is required.

The LLGDHU indicated that "based on the information available the proposed renovation will not result in a change to the Total Daily Design flow for the septic system. The Leeds, Grenville and Lanark District Health Unit has no objection to granting the proposed Minor Variance.

No other comments were received at the writing of this report.

Planning Opinion – Four Test for Minor Variance

As expressed in the Village Official Plan, the Ontario Planning Act sets out four tests in the consideration of Minor Variance applications:

1. Does the development proposed maintain the general intent of the Official Plan?
2. Does the development proposed maintain the general intent of the Zoning By-law?
3. Is the variance desirable for the appropriate development or use of the land?
4. Is the variance requested minor?

The following is a review of these four tests against the request to construct a deck size 3 m x 4.3 m (10' x 14') on the North side of the dwelling unit:

Test 1: Official Plan



The Village of Merrickville-Wolford clearly supports the residential use of the subject lands. Provided the minor variance application can satisfy the four tests, the proposed development is deemed to conform to the Official Plan.

The proposed Minor Variance maintains the general intent and purpose of the Village Official Plan.

Test 2: Zoning By-law

The Village of Merrickville-Wolford Zoning By-law 23-08 identifies the property as being zoned for single detached residential uses. The only provisions of the Zoning By-law not satisfied is the 30 m waterbody setback of Section 3.27.2.

The intent of the waterbody setback is to ensure protection of the shoreline area (riparian zone) and the associated natural environmental features. In this case the deck is an above-grade structure that is 29.26 m (96 feet) from the water's edge and will have minimal impact on the shoreline natural features provided the standard clauses requested by the RVCA are included as conditions.

In general, the proposed development maintains the intent and purpose of the Zoning By-law.

The proposed Minor Variance maintains the general intent and purpose of the Village Zoning By-law.

Test 3: Desirable for the Appropriate Development or Use of the Land

The deck is an accepted structural element of a typical single detached dwelling and is deemed to be a desirable and appropriate use of the land and is consistent with the development within the area.

The development is deemed desirable.

The proposed Minor Variance is desirable for the appropriate development of the subject land.

Test 4: Variance is Minor

The impact of the deck with a 0.74 m (2.4 feet) encroachment will be minor in terms of its impact. It is not anticipated that there will be a negative impact on any of the surrounding uses.

The proposed Minor Variance is minor in terms of its impact.

For these reasons, it is my opinion that the proposed Minor Variance to permit a deck to be constructed 29.26 m (96 feet) from the water's edge meets the four tests set out in the Planning Act and represents good land use planning.

Sincerely,

Jp2g Consultants Inc.

ENGINEERS • PLANNERS • PROJECT MANAGERS

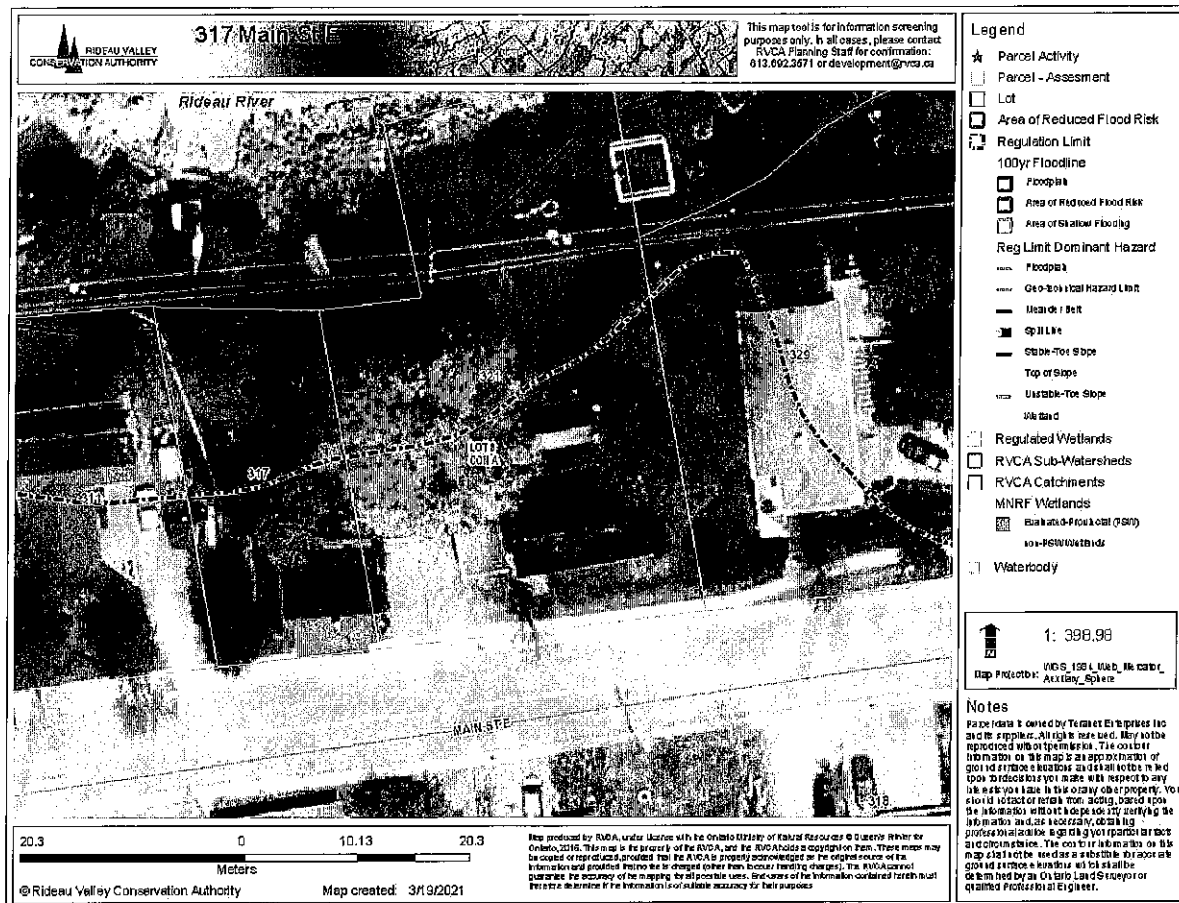


Respectfully submitted:

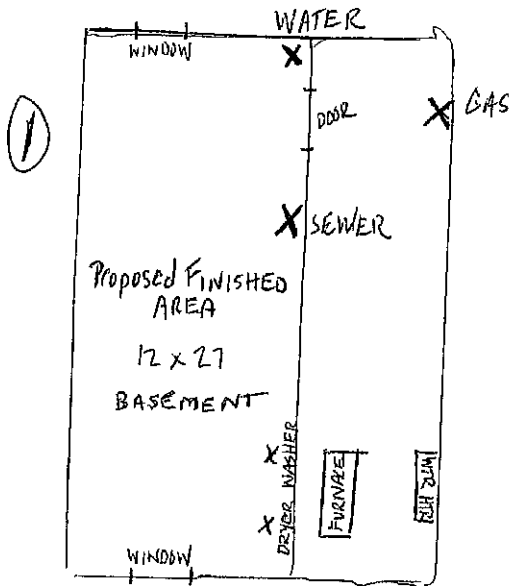
A handwritten signature in black ink, appearing to be 'F. Symon', written in a cursive style.

Forbes Symon, MCIP, RPP
Senior Planner

Map 1: Location of Subject Property



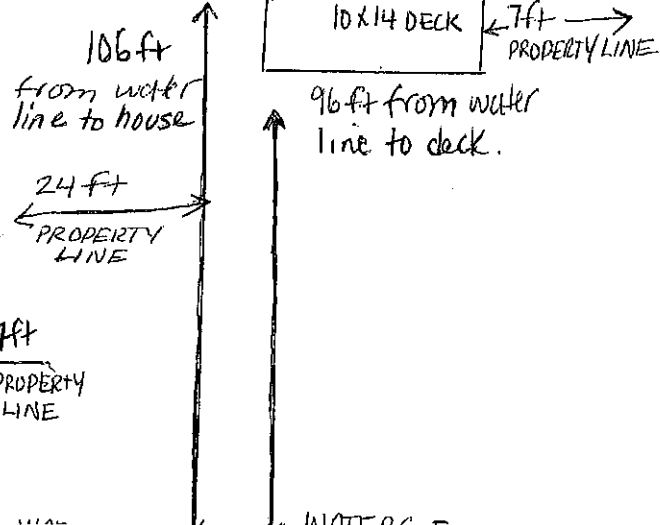
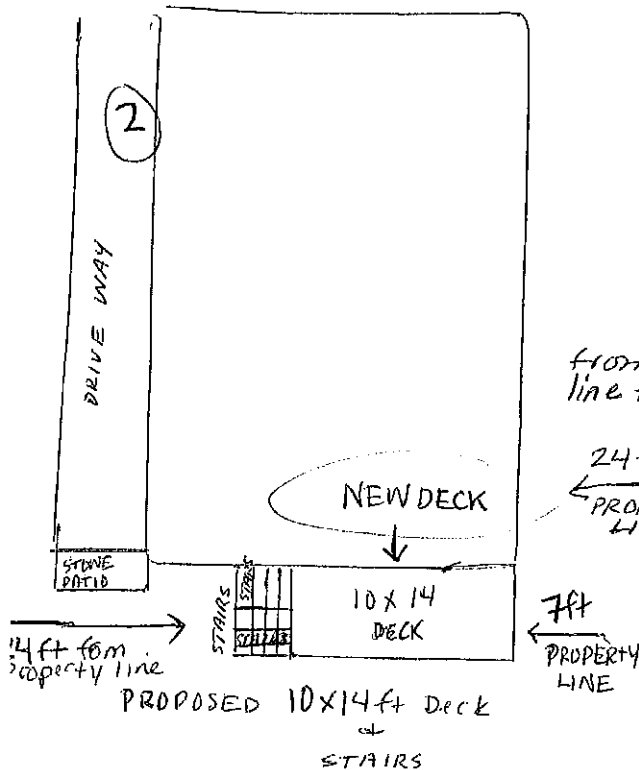
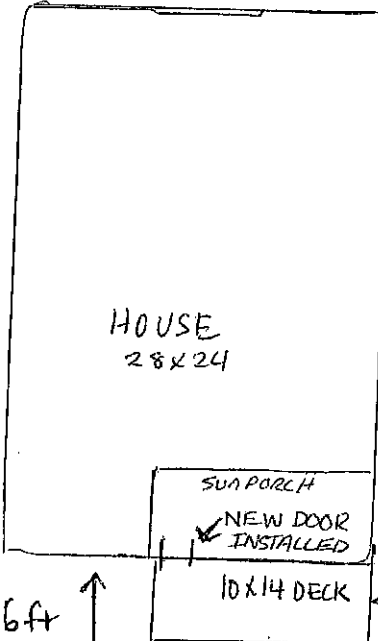
Map 2: Reconstruction Plan of Subject Property



① Finish Basement 12x27

INSULATE CEILING
INSULATE WALLS
GYROCK CEILING & WALLS
8 POT LIGHTS INSTALLED
5 PLUGS INSTALLED
VINYL FLOORING INSTALLED

② INSTALL INSULATED METAL DOOR IN SUN PORCH
BUILD 10x14 PRESSURE TREATED DECK





Development Review Team

March 30, 2021
A-05-2021
21-MWO-MVA-0008

Village of Merrickville-Wolford
P.O. Box 340
317 Brock Street W,
Merrickville, Ontario
K0G 1N0

Attention: Stacie Lloyd

Subject: Andrew Huestis
317 Main Street East
Merrickville, ON

Dear Ms. Lloyd,

The Rideau Waterway Development Review Team (RWDRT) has reviewed the noted application on behalf of the Rideau Valley Conservation Authority within the context of:

- Section 2.1 Natural Heritage and 3.1 Natural Hazards of the Provincial Policy Statement (2020) under Section 3 of the Planning Act.
- Rideau Valley Conservation Authority regulations under Section 28 of the Conservation Authorities Act,
- The 2014 Rideau Lakes Subwatershed Report,
- the considerations for waterfront setbacks and best management practices derived from the "Rideau Lakes Study" and the associated "municipal Site Evaluation Guidelines (updated 2015).

and on behalf of Parks Canada-Rideau Canal Office within the context of:

- Federal Species at Risk Act and Impact Assessment Act,
- Federal Policy on Wetland Conservation,
- Historic Canals Regulations,
- Waterway Navigation,
- Natural and Cultural Resources,
- Federal Crown ownership,
- The National Historic Site and UNESCO World Heritage designations of the Rideau Canal.

The Proposal

The applicant seeks approval to extend an unenclosed attached deck into the 30m water setback. The variances requested is:

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Parks Canada-Rideau Canal | Rideau Valley Conservation Authority | Cataraqui Region Conservation Authority
613-283-7199 613-692-3571 613-546-4228

- Section 3.27.2.5 of the Village of Merrickville-Wolford Zoning By-law 23-08, as amended, Relief from the required 30m (100ft) water setback to allow for a 1.22m (4ft) deck projection into the water setback for a water setback of 28.88m (96ft) for the proposed 10ftx14ft unenclosed attached deck.

The Property

The property is rectangular lot approximately 0.12 acres in size and located on the Rideau River. There is approximately 14.5 metres of shoreline and the lot is approximately 31.8 metres deep. There approximately 11 metres of upland area between the highwater mark and the property line. The property has mature trees. The house is on the road frontage. The property is moderately sloped.

RVCA Comments and Recommendations

Preservation of this minimum setback within which disturbance is restricted has been a common ideal in place to protect lakes, rivers and wetlands over the long term. Maintenance of water setbacks act to offset the intensification of use of the property expected with greater and more frequent use of the site. Over the long term, more use and more development will continue to apply greater impact (sediment, nutrient loading) to Rideau River. Therefore, we encourage development and redevelopment to respect this setback consideration in keeping with the Township's minimum requirements to help protect the Rideau River. The RVCA and Parks Canada encourage conformity with and compliance to the Official Plan and Zoning By-law where possible in such development proposals.

RVCA (and Parks Canada) does not object to the approval of the minor variance as presented. There is a minor projection of 1.22 metres of open deck towards the Rideau River. Most municipalities allow decks to project into the water setback. This application is considered minor in nature.

We recommend the following best management practices be incorporated into the development plan to protect the Rideau River. These matters are to be incorporated into the approval as may be granted:

- Sediment and erosion controls between the construction area and the shoreline are to be installed prior to initiation of the work, to remain in place until the site has been allowed to regenerate and vegetation has been re-established to the satisfaction of the Township/Chief Building Official.
- Excavated materials will be disposed of well away from the lake, in excess of 30 metres.
- Roof runoff shall be collected and directed on-site to provide the greatest infiltration for surface runoff. Runoff should not be directly outlet towards the Rideau River.
- Regeneration of the waterfront/slope vegetative buffer with native hardy cover is important on this site. Native plant cover will help to stabilize the waterfront, protect against nutrient and sediment load to the lake and reduce costly maintenance over the long term. RVCA recommends that native planting be undertaken over the frontage and

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particularly between the dwelling and the Rideau River. Allowance can be made for a modest pedestrian access path traversing this re-naturalization area to the water's edge. The applicant can contact the Shoreline Naturalization Program staff at 1-800-267-3504 to assist with the implementation of the planting plan, additional site plantings and stabilization work in upland areas to off-set the impacts of addition and deck to the Rideau River.

Parks Canada Comments and Recommendation

The Rideau Canal National Historic Site of Canada, Canadian Heritage River and UNESCO World Heritage Site is administered by Parks Canada to preserve the cultural, natural and scenic values so that all Canadians can enjoy this legacy into the future. All parties have a responsibility to ensure the stewardship and conservation of this internationally recognized waterway. This can be achieved in part by conserving natural shorelines, retaining and enhancing native vegetation within the 30 metre buffer zone, and developing the property in a manner that complements the visual character of the landscape. While not a part of the Rideau Canal itself, the 30 metre buffer is intended to provide an additional layer of protection.

For any new buildings or structures situated within the 30 metre buffer, the use of building materials and colours that blend in with the surrounding landscape are encouraged. Earth tones and neutral colours are recommended for the finished exterior of the dwelling. Reflective materials, such as galvanized and bare metals, particularly for roof coverings and support structures, are discouraged.

The Parks Canada Rideau Canal Office is an approval authority for in-water and shoreline works along the waterway. If the landowner wishes to carry out any new in-water and shoreline works including but not limited to docks, decks, boathouses, launch ramps, beaches, dredging and shoreline stabilization devices, the Rideau Canal Office must be contacted. Written approval must be obtained prior to the commencement of construction. Work must adhere to the Rideau Canal's *Policies for In-water and Shoreline Works and Related Activities*. Parks Canada/Rideau Canal permitting staff can be reached by contacting Debbie Farmer, A/ Real Property Officer, Ontario Waterways (Debbie.Farmer@Canada.ca, Tel: 705-750-4923).

Should the Township support the proposed development, Parks Canada requests inclusion of the following recommendation for conditions in the site plan control agreement:

- Should any in-water or shoreline works or alterations be proposed, prior written approval from the Rideau Canal Office of Parks Canada is required.

Conclusion and Recommendations

In conclusion, the RVCA and Parks Canada-Rideau Canal Office do not object to the approval of the minor variance as presented.

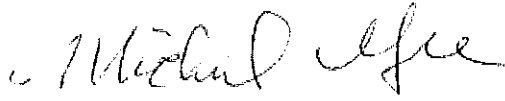
Thank you for the opportunity to comment. Please do not hesitate to contact the undersigned should you have any questions.

Please advise the RVCA and Rideau Canal Office on the committee's decision regarding this

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application or of any changes in its status.

Yours truly,



Michael Yee
Environmental Planner & Biologist, RVCA
613-692-3571 X 1176

Cc - Andrew Huestis (Owner)
- Forbes Symon – MW Planner
- Parks Canada – Susan Millar
- Emma Bennett, RVCA and Matt Jokiel, RVCA
- Meaghan McDonald, RVCA

Christina Conklin

From: MacNeil, Ben <Ben.MacNeil@healthunit.org>
Sent: Tuesday, March 30, 2021 1:58 PM
To: Economic Development Officer
Subject: RE: Merrickville-Wolford Minor Variance Hearing April 8/21 - 4 applications
Attachments: image001.jpg

Hello Stacie,

Please find comments below for the upcoming Committee of Adjustment meeting.

A-01-2021: Based on the information available the proposed renovation would not result in a change to the Total Daily Design Flow for the septic system. The Leeds, Grenville and Lanark District Health Unit has no objection to granting the proposed Minor Variance.

A-03-2021: Based on the information available the proposed renovation will not result in a change to the Total Daily Design flow for the septic system. The Leeds, Grenville and Lanark District Health Unit has no objection to granting the proposed Minor Variance.

A-04-2021: This lot appears to be on Municipal services. The Leeds, Grenville and Lanark District Health Unit has no objection to granting the proposed Minor Variance.

A-05-2021: Based on the information available the proposed renovation will not result in a change to the Total Daily Design flow for the septic system. The Leeds, Grenville and Lanark District Health Unit has no objection to granting the proposed Minor Variance.

Regards,

Ben MacNeil
Public Health Inspector
Leeds, Grenville and Lanark District Health Unit.
613-345-5685

Sent from my Galaxy

----- Original message -----

From: Economic Development Officer <edo@merrickville-wolford.ca>
Date: 2021-03-24 12:43 PM (GMT-05:00)
To: "Carpenter, Nancy" <Nancy.Carpenter@healthunit.org>, "MacNeil, Ben" <Ben.MacNeil@healthunit.org>
Subject: FW: Merrickville-Wolford Minor Variance Hearing April 8/21 - 4 applications

Hi Nancy/Ben,

We have a few upcoming Minor Variance Applications scheduled for Committee of Adjustment Hearing on Apr 8 at 6 pm in Merrickville – Hearing Notices are attached, which provide a description of the proposed projects. I will send you all documents related to the minor variances (applications, drawings, site plan sketch, etc) with request for the health unit to provide comments where relevant.

File # A-01-2021 (SWAN) – 235 Boyds Landing Lane * File # A-03-2021 (DEY/FEENSTRA) – 330 Broadway St West * File # A-04-2021 (CARD) – 323 St Lawrence St File # A-05-2021 (HUESTIS) – 317 Main St East *

*We are expecting reports from RVCA on these ones this week, let me know if you would like me to send you a copy of the report.

Is it possible to receive your comments by March 30?

Many thanks, if you'd like to discuss, today I am at 613-324-5387, and tomorrow & Friday at the number below.

Stacie

Stacie Lloyd
Economic Development Officer

Village of Merrickville-Wolford
317 Brock St W, Box 340
Merrickville ON K0G 1N0
Phone (613) 269-4791 Ext 242
edo@merrickville-wolford.ca<mailto:edo@merrickville-wolford.ca>

[MWlogocol-1 - very small]

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This map tool is for information screening
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 RVCA Planning Staff for confirmation:
 613.692.3571 or development@rvca.ca



20.3 0 10.13 20.3

Meters

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Map created: 3/19/2021

Legend

- ★ Parcel Activity
- Parcel - Assessment
- Lot
- Area of Reduced Flood Risk
- Regulation Limit
- 100yr Floodline
- Floodplain
- Area of Reduced Flood Risk
- Area of Shallow Flooding
- Reg Limit Dominant Hazard
- Floodplain
- Geo-technical Hazard Limit
- Meander Belt
- Spill Line
- Stable-Toe Slope
- Top of Slope
- Unstable-Toe Slope
- Wetland
- Regulated Wetlands
- RVCA Sub-Watersheds
- RVCA Catchments
- MNRF Wetlands
- Evaluated-Provincial (PSW)
- non-PSW Wetlands
- Waterbody

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WGS_1984_Web_Mercator_
 Map Projection: Auxiliary_Sphere

Notes

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		Date Req'd
Information Purposes		
Policy / Action Req'd		
Strategic Plan		

STAFF REPORT TO Committee of Adjustment Merrickville-Wolford

April 8, 2021

From: Shawn Merriman

RE: Building Department Insight re: Construction issues 317 Main Street East
File Number A-05-2021

Recommendation: Report for information purposes only and consideration by the members of the Committee of Adjustment.

Issue 1: The building department can confirm that this is the most efficient and practical way to construct on the site without increasing the area already affected and is most practical in terms of making the dwelling unit useful and enjoyable for this owner and future owners. However, due to the sloping nature of the land the owner should be aware that either the deck needs to be on a proper foundation and attached to the dwelling or an engineer will need to comment on stability of deck if floating.

Issue 2: The Building department in relation to the conservation request of condition on the native vegetative strip. As per currently worded this is unenforceable therefore the committee should set some minimum conditions such as 3 metres wide by X % of the frontage. Or the committee should not make the vegetative strip a condition but a recommendation only.

Application proponents note: Please note that the department found the applicants to be polite and understanding about their issues in relation to this lot. When informed of a need for a minor variance they quickly and efficiently submitted an application and were polite and interested in doing things the correct way. This department has no concerns about any conditions applied in allowing this project to commence in being carried out. Hence no request for additional fees of deposit as a condition of the decision.

		Date Req'd
Information Purposes		
Policy / Action Req'd		
Strategic Plan		

Conditions asked to be considered: Specific to Issue number 2 that either it be a recommendation or that it have some specific minimums.

Shawn Merriman CBCO, RASDT, WETT
Building Official Merrickville-Wolford